

**CITY OF RANCHO CORDOVA**  
**Minutes of Meeting**  
**Of the Community Development Director's Administrative Public Hearing**  
**August 30, 2018**

**1. CALL MEETING TO ORDER**

The meeting of the Administrative Public Hearing of the City of Rancho Cordova was held on Thursday, August 30, 2018 in the Community Board Room located at 2729 Prospect Park Drive, Rancho Cordova, CA, 95670. Community Development Director, Elizabeth Sparkman called the meeting to order at 11:00 a.m.

Staff Present: Planning Department Clerk, Kelly Whitman; Senior Planner, June Cowles; Planning Manager, Darcy Goulart; and Senior Legal Associate, Frank Splendorio.

**2. PUBLIC COMMENT**

There were no public comments heard at this meeting on non-agenda items.

**3. PUBLIC HEARING**

**A. GOLD TAILINGS STORAGE YARD – PROJECT NO. DD9807 – MINOR DESIGN REVIEW.**

The City of Rancho Cordova Planning Department has reviewed and processed a Minor Design Review for a storage yard with several metal storage containers south of 2851 Gold Tailings Court. The storage yard will be fenced and will include several metal storage containers in order to secure equipment and material for the business located at 2851 Gold Tailings Court.

**Location:** South of 2851 Gold Tailings Court; APN: 072-0490-008-0000

**Zoning:** Office Industrial Mixed Use (OIMU)

**Project Planner:** June Cowles, Senior Planner

**Recommendation:** Staff recommends the Community Development Director determine the project Categorically Exempt under Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act Guidelines, and approve a Minor Design Review for the proposed project, subject to the submitted project material and Conditions of Approval.

*Community Development Director, Sparkman opened the Public Hearing*

**PUBLIC COMMENT**

- Kristen Alexander, Adjacent Property Business Owner – The fence that has been installed is of good quality but is concerned with what may occur in the next year or so. Believes that the fence will attract graffiti and homeless encampments which will cause a blight issue. What type of lighting will be used to assist in alleviating potential blight and nuisance issues?
- Jack Alexander, Adjacent Property Business Owner – Is frustrated due to all the hurdles they had to overcome in opening his business including the modifications and expense required to be in compliance with the City's HVAC screening requirements. Feels that the proposed project is being held to different standards and that applicants are not being treated equally. Is pleased that the applicant is being conditioned to landscape the area between Gold Tailings Drive and the fence but is concerned with weeds and maintenance along the southern property line.
- Steve Burnett, Adjacent Property Owner Representative – Provided brief personal background on his professional career and expertise. Read his opposition letter and attached email (**Attachment 1**) into the record. Also, provided pictures of the existing neighborhood for the record. The existing neighborhood is a nice sleepy cul-de-sac that does not have heavy

traffic. Is quite concerned with the increased traffic that could be generated by the use. When trucks do visit the site which driveway will they be utilizing? At what frequency can we expect to see trucks? What size trucks will be used? It is stated that this hearing is for design review but in the information we received enhancement of the neighborhood is discussed. Could it be explain how this use is enhancing the neighborhood? Requests that the director refer the decision to City Council that the director not make a decision to allow this proposal to be permanent. Is aware that the director has the authority to make a decision and that he would be able to appeal that decision. Also, would like to request a neighborhood meeting.

- Patty Lomanto, Adjacent Property Owner Representative – Asked for clarification on the proposed site plan. Provided a brief personal background and history on the entitlements they have obtained on the adjacent property to the south of the proposed project. Is upset that they were not consulted on how the proposed project would integrate with their approved entitlements. Is concerned with the potential graffiti that the proposed would attracted to the proposed fence and if there is not an adequate setback for the fence there will issues with crews being able to access the fence to remove the graffiti. Will not be providing an easement to the adjacent property owner or the City for maintenance. Therefore, requests that the fence be required to have a significant setback from the shared property and possible man door/gate in order provide adequate space for maintenance activities. The findings for proposed project does not provided adequate support for the project's consistency with the General Plan and the existing developments in the neighborhood. Was unable to locate any information on how the fence was exempt from review in the documents provided by the planning division or the municipal code. Does not agree with the fence qualifying as an exemption since their property would be a different use and there are specific requirements for screening between different land uses. Referred to RCMC section 23.731.080(A)(1). Believes that the standards in the aforementioned code section should be applied to this project and would like that suggestion to be taken under consideration. Sun Center Drive is one of the major arterial's in Rancho Cordova and the proposed project is one of the things that people are going to see as the enter this prestigious area. Hopes that the City would want this project to be as attractive as the current surrounding developments but also as a major entryway into this OMU area. Finds the whole process for the proposed project to be confusing. Believes that there should be clarification on how this project is being looked at from the City standpoint since the address for the property/building to the north has been referenced on multiple occasions. A lot of the findings are talking about a building but a building is not a part of the scope of work for this project. Storage containers based on my review of the code are allowed only as a temporary use which is in conflict with this proposal. Per her review of RCMC chapter 23.728 outdoor storage is only allowed when it is incidental use when related to a principal use in all zoning designations. Believes that the use of an outdoor storage yard is not allowed as a standalone primary use. Does not believe that the use is compatible with the surrounding uses and the existing zoning designation and therefore does not see how the findings can be made for the project. Believes that the neighborhood meeting process per 23.110.100 should have been utilized because the proposed project appear to have raised concerns in the neighborhood and will have an impact on the community. Believes that the proposed project will have significant impacts on the neighborhood and the evidence provided for the project findings does not address any of the impacts that the proposed project will have on the neighborhood. Provided notes and approved plans for their property for the record (**Attachment 2**). Requests that the director refer the decision to City Council. Would like to reiterate that their property needs to be considered. It is anticipated to be a different use then the proposed project and therefore the guidelines for screening need to be adhered to which would include setbacks, easements, and landscaping.
- Tom Orr, Adjacent Property Owner Representative – Feels that they were held to a very high standard when their property went through the planning entitlement process as well as the tenant improvement process for some of his tenants and that the applicant for the proposed project is not being held to the same standards. Believes that the proposed project is an eye sore because the 7 foot fence will not be able to fully screen the storage containers. To the best of his knowledge the height on a typical storage container is 8 feet 6 inches. The storage

containers thus will be visible from the offices within his building and other adjacent buildings. Believes that everyone should be held to the same standards.

- Jeff Williamson, Project Applicant – Before purchasing the property at the end of 2017 they consulted a land use attorney. Through that consultation they were informed that their intended use would be consistent with current zoning regulations. Has had several conversations with city staff in regards to zoning regulation and development standards that applied to his proposal. Confirmed that the fence material is made with a graffiti resistant coating that would assist with graffiti removal. Also, he made the fence panels himself so if there is ever a need he can easily replace a damaged or destroyed panel. Is aware of the homeless issue and has removed the bushes that were causing nuisance and removed all of the garbage. Confirmed that they will continue monitor any issue and take action when required. Stated that there is approximately a five to five and half foot setback on the southern property line and at this time does not have plans to landscape that area. When the adjacent property owner is ready to move forward with development on their parcel he is more than willing to work with them on a plan to landscape the area so that it is integrated cohesive. Stated that he is not in charge of zoning and he picked the subject area because it is zoned properly for what he does. If he proposed to remove the storage containers from his proposal then the requirement for design review is no longer applicable. However, it is not his intent to have all of his materials, tools, and equipment all over the storage yard. Believes that is not what the opposing parties want. The storage containers will allow the storage yard to be secure, orderly, organized and contained. Will monitor his property and ensure that it remains clean, tidy, and be a good neighbor. Not the type of operator or owner that would allow things to be dilapidated. Is trying to upgrade the property that he purchased and believes that it is better than when he bought it. If people do not like the looks of the fence he is sorry but it is in compliance with planning, building, and fire requirements. If people want the standards changed for future proposals that it up to them to pursue. Also, confirmed that there are plans to add outdoor lighting but those plans have been put on hold until this process has been completed. Reiterated that he purchased the property after consulting with a land use attorney and that it was confirmed that he would be operating within the zoning regulations and that no variances would be required. Had any issues arisen during that consultation he would not have purchased the property. All he can do now is be a good neighbor and keep the property clean and under good repair.

The Community Development Director had the following concerns and comments:

- Sparkman – There are a few options on how to move forward: 1) Can make a determination now; or 2) Take it under advisement and make a determination at a later date. With the volume of information that has been submitted the director feels compelled to take the information under advisement and delay making a decision. A decision will not be made right now at this point. Requested that the City's legal representative describe next steps.

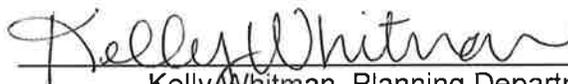
*Community Development Director, Sparkman closed the Public Hearing*

**Action:** The Community Development Director has taken all the testimony under advisement and will provide written notice of decision to all affected parties within three (3) business days of a decision being made.

4. ADJOURNMENT

There being no further business before the Community Development Director, the meeting was adjourned at 12:46 p.m., August 30, 2018 to the next scheduled meeting.

  
\_\_\_\_\_  
Elizabeth Sparkman, Community Development Director

  
\_\_\_\_\_  
Kelly Whitman, Planning Department Clerk

a fresh take.

**RANCHO CORDOVA**  
CALIFORNIA

## Administrative Public Hearing Speaker Card

Please complete and present a Speaker Card to the Planning Clerk for each agenda item you wish to address to the Community Development Director.

Name of Speaker: Kirsten Alexandee

Address: 11210 Sun Center Drive

Telephone: (530) 417-6219

E-mail: Kirsten@go-native.com

Agenda item number you would like to address GOLD:

- Support
- Oppose
- Neutral
- Other \_\_\_\_\_

Tailings

I would like to address the following subject not on the agenda:

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**Comments are limited to three (3) minutes or less.**

Any information provided on this form will become part of the public record. We appreciate your participation.

| Agenda Item # | Speaker # |
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| A             | 1         |

a fresh take.

**RANCHO CORDOVA**  
CALIFORNIA

## Administrative Public Hearing Speaker Card

Please complete and present a Speaker Card to the Planning Clerk for each agenda item you wish to address to the Community Development Director.

Name of Speaker: Jack Alexander

Address: 11210 Sun Center Dr.

Telephone: 916-642-3421

E-mail: jack@burningbarrelbrewco.com

**Agenda item number you would like to address \_\_\_\_\_:**

- Support
- Oppose
- Neutral
- Other

Gold Tailings Facility

I would like to address the following subject not on the agenda:

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**Comments are limited to three (3) minutes or less.**

Any information provided on this form will become part of the public record. We appreciate your participation.

| Agenda Item # | Speaker # |
|---------------|-----------|
| A             | 2         |

a fresh take.

**RANCHO CORDOVA**  
CALIFORNIA

## Administrative Public Hearing Speaker Card

Please complete and present a Speaker Card to the Planning Clerk for each agenda item you wish to address to the Community Development Director.

Name of Speaker: Steve Burnett

Address: 4005 Cornwall Way  
Rocklin, CA 95677

Telephone: 916-802-1188

E-mail: stephenwburnett@gmail.com

Agenda item number you would like to address Gold Tailings

- Support
- Oppose
- Neutral
- Other \_\_\_\_\_

I would like to address the following subject not on the agenda:

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**Comments are limited to three (3) minutes or less.**

Any information provided on this form will become part of the public record. We appreciate your participation.

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| Agenda Item #<br><u>A</u> | Speaker #<br><u>3</u> |
|---------------------------|-----------------------|

a fresh take.

# RANCHO CORDOVA CALIFORNIA

## Administrative Public Hearing Speaker Card

Please complete and present a Speaker Card to the Planning Clerk for each agenda item you wish to address to the Community Development Director.

Name of Speaker: Patty Lomanto

Address: 10385 Pine Cone Dr  
Truckee Ca 96161

Telephone: (916) 645-4343

E-mail: plomanto@cbcgblal.net

Agenda item number you would like to address Gold :

- Support
- Oppose
- Neutral
- Other \_\_\_\_\_

Taylor's Ct.  
RK

I would like to address the following subject not on the agenda:

Outline developer's proposal

**Comments are limited to three (3) minutes or less.**

Any information provided on this form will become part of the public record. We appreciate your participation.

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| Agenda Item #<br><u>A</u> | Speaker #<br><u>34</u> |
|---------------------------|------------------------|

a fresh take.

**RANCHO CORDOVA**  
CALIFORNIA

## Administrative Public Hearing Speaker Card

Please complete and present a Speaker Card to the Planning Clerk for each agenda item you wish to address to the Community Development Director.

Name of Speaker: Tom Orr

Address: 11200 Sun Center Dr

Telephone: 916 857 1632

E-mail: tom@nwext.com

**Agenda item number you would like to address \_\_\_\_\_ :**

- Support
- Oppose
- Neutral
- Other \_\_\_\_\_

I would like to address the following subject not on the agenda:

Gold Tailings

**Comments are limited to three (3) minutes or less.**

Any information provided on this form will become part of the public record. We appreciate your participation.

| Agenda Item # | Speaker # |
|---------------|-----------|
| A             | 5         |

August 30, 2018

Elizabeth Sparkman  
City of Rancho Cordova

Dear Ms. Sparkman,

We appreciate the opportunity to comment upon the notice of intent dated July 18, 2018 regarding APN 072-0490-008-0000. Our effort herein is as much an effort on our part to understand the decision-making process, the policies, and the standards applied and the connection between the decision and those policies, standards and guidance.

Review. In summary the process in this case is a limited discretion decision to be made by the Director. The Director decision is subject to appeal to the City Council. The decision is to be made "consistent with adopted criteria" that "regulate the physical characteristics of a use or structure". The process by which the issuance of the permit is accomplished is in three steps. First, the application is reviewed by staff and staff prepares a notice of intent that describes the staff's findings and intent to either issue or deny the permit. Second, the notice of intent is provided to interested parties and a date is set for an administrative hearing to formally make the decision to issue the permit (or not). Third, a hearing is held and the decision is made at the hearing.

We have two initial concerns with respect to the notice and the substance of the application.

Our initial concern is that the applicant has proceeded to execute the permit, which as yet has not been formally approved, in prejudice to the outcome of the hearing. We do not observe in the record an indication of the improvements as proceeding at risk and whether such a provision is even available in the City Code.

We are also concerned that the permit is incomplete. The permit does not include:

1. Detail with respect to the installation of the fence. There is no evidence that a determination has been made as to the wind shear capability of the fence design. Similar metal walls were used in the construction in the City prior to cityhood. Those fences were eyesores and were maintenance problems. We would assume the City would be very cautious about the structural integrity of such construction. The plans do not include any detail as to how the gate will be operated or constructed.
2. The plans do not include any landscape plans consistent with City landscape planning standards.
3. The plans do not include drainage and surface improvements consistent with City standards.
4. The plans do not include improvement plans with respect to the driveway access to the site.

5. The plans do not include any material or color samples sufficient to know what color the storage containers will be.
6. The plans do not include any evidence of facilitation of pedestrian access as the final finding assumes will be accomplished.

The notice of intent shall include:

1. The application request. *The request is to obtain a Minor Design Review for a storage yard with several metal storage containers at 2511 Gold Tailings Court. The storage yard will be fenced and will include several metal storage containers. . .*. We note that the request is actually limited by the application exhibits to seven containers with a specific location.
2. The planned date of determination. *The date planned for the determination was July 30. It has been extended to August 30.*
3. A brief explanation of the criteria and standards considered relevant to the decision. *See our comments below.*
4. The means and process by which the decision may be appealed. *The notice provides this information.*

A “notice of intent to make decision” was distributed July 18, 2018.

In addition to our concerns for the lack of information in the application we are concerned that the determination as evidenced in the findings falls short of the policies, standards and guidance obtained from the cited plans and ordinances

It is our belief that the decision is absent specific findings connection between the findings and the manner in which the application implements the findings.

Some of the evidence in support of the consistency determination is factually irrelevant to the findings. In some cases specific standards or guides are not specifically addressed in the findings.

For example: The finding is that the architecture, site design and landscape are:

- The architecture is suitable for the building purpose.
- The site design is suitable for the site.
- The landscape is suitable for the site.
- That architecture, site design and landscape will “enhance” the character of the neighborhood and community.

**Architecture of the Building.** The plan review is with respect to the development of a vacant lot. No building is involved. The finding cannot be made in the absence of a building. The cited containers are neither legally nor effectively buildings.

**Site Design.** The design includes a fencing plan and an indication that the site is to be covered with gravel. No specific data as to the nature of the improvements (see our comments above about the incompleteness of the application) is provided.

**Landscape Plan.** No plan has been made available.

**Enhance the Character.** The findings do not describe the character of the neighborhood nor do they describe the way in which the character of the neighborhood is enhanced. It was verbally suggested that the community would be enhanced by the elimination of an encampment. The bringing of property into conformity with zoning and health and safety standards is not enhancement. The enhancement has to do with the improvements proposed in comparison to those in the neighborhood.

The purpose statement of the OIMU zone includes the following text:

“The OIMU district is intended for the seamless integration of office and light industrial uses with supporting retail and service uses.”

We would like to contrast this purpose with that of the less restrictive Heavy Industrial/Manufacturing Zoning District. The M-2 district “is generally located in areas of the city where it would not create a substantial impact on sensitive residential, commercial, or office uses. Where feasible, development in the M-2 district may require **additional measures to reduce impacts to neighboring properties such as increased setbacks, landscaping and screening**. This provision is repeated in the Industrial Design Guidelines:

“When industrial/warehouse uses are located adjacent to less intense uses, additional landscaping in conjunction with appropriate decorative **walls** (*note added, not fences*) and setbacks should be provided to mitigate potential adverse impacts.”

District purpose statements reflect the inherent hierarchical nature of traditional zoning districts like those in play here. They also provide some insight into the standards and criteria applicable in a given design review effort. In this case the proposed use fails to:

1. Seamlessly integrate office and light industrial use. The proposed metal fence is not conforming to materials used in the neighborhood. The neighborhood pattern of the seamless integration includes a property line landscape area and fully improved (paved) areas within the areas not covered by a building.
2. The measure (a metal fence) to reduce impacts to neighboring properties is not inclusive of two measures available (increased setbacks and landscaping) applicable to circumstances within a much less desirable neighborhood (M-2)

Three of the four criteria included in the second finding (architecture, site plan, landscape and enhancement) are not addressed. In addition to the comments above,

we would suggest that the plan be modified to achieve the criteria. Our preference is that they be achieved in a way that meets the full criteria set including enhancement.

1. Deny the permit and request submittal of plans needed to determine the nature of the project and to obtain a project consistent with the zoning purpose and design guidelines.
2. Provide a professionally drawn landscape plan including irrigation systems and materials proposed for use. The plan would include property line landscape similar to that in the neighborhood.
3. In that the perimeter fencing is intended to screen this solitary (for the neighborhood) storage yard facility it is requested that the fence be made of architectural grade block material. Should the city continue in support of the metal fencing we would request a complete submittal including detail of construction methods and evidence of calculation of wind shear capability of the design.
4. In that all development in the neighborhood fully improves each parcel inclusive of asphaltic concrete or concrete or live landscape materials, the site improvements should include a permanent asphaltic or concrete surface (with underground drainage) in lieu of the proposed gravel surface. This conforms to the standard of development in the neighborhood.
5. The routing of trucking should be from the existing driveway on Gold Tailings Court.
6. The storage containers will be removed from the plan.

In conclusion, I am confused as to why the zoning that was originally MP on Gold Tailings Court when we built our building in the late 1990s was subsequently changed to OPMU on our side of the street and OIMU across the street. Keep in mind the street we are discussing is a quiet little cul-de-sac built out with office buildings. Now our driveway when leaving our (Greenshade) office building looks at a 7 foot metal fence with gates opening directly across that resembles the architecture of the auto wrecking/junk yards found south of White Rock. Similarly, our (Lomanto) corner lot has a 7 foot fence on the lot line with no setbacks along its northern border that is seen by the public as they enter Prospect Business Park. Why was this ever considered an "enhancement" to our neighborhood??

Respectively,

  
\_\_\_\_\_  
Steve Burnett  
Managing Member  
Greenshade Investors, LLP

  
\_\_\_\_\_  
Patty Lomanto, Co-Trustee  
Lomanto Bell Family Trust

Attachments: Email to Darcy Goulart dated July 24, 2018 including attachments  
Photos of Gold Tailings Court, Rancho Cordova, CA  
Steve Burnett Bio

**ATTACHMENT 1**

Steve Burnett &lt;stephenwburnett@gmail.com&gt;

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**City of Rancho Cordova, Planning Department Notice of Intent to Make Decision Dated July 18 2018 re:application for parcel south of 2851 Gold Tailings Court**

1 message

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**Steve Burnett** <stephenwburnett@gmail.com>  
To: dgoulart@cityofranhocordova.org  
Cc: Ross and Nancy Cofer <rcofers@gmail.com>

Tue, Jul 24, 2018 at 6:04 PM

Hi Darcy,

It was a pleasure meeting you today. You have a hard copy of the email I sent to June Cowles on Sunday. As the managing member of Greenshade Investors, LLC, that owns the office building located at 2870 Gold Tailings Court, I hereby request an administrative hearing regarding the application made by the parcel located south of 2851 Gold Tailings Court; APN 072-0490-008-000.

My concerns are outlined in the email to June Cowles as mentioned above and is attached to this email.

Sincerely,

Steve Burnett, Managing Member  
Greenshade Investors, LLC  
916-802-1188

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**2 attachments** **Email to June Cowles dated July 22 2018.pdf**  
38K **City of Rancho Cordova Notice 07 18 2018.pdf**  
181K

Steve Burnett <stephenwburnett@gmail.com>

to jcowles  
July 22, 2018

Dear June Cowles,

My name is Steve Burnett. I am the managing member of Greenshade Investors, LLC, which owns the office building located at 2870 Gold Tailings Ct., Rancho Cordova, CA. The office building housed my CPA firm, Burnett + Company LLP from 1998 through 2017. Prior to that Burnett + Company CPAs leased nearby space at 2880 Sunrise Blvd, Rancho Cordova, CA from 1984 to 1998. As such, we have been long time business residents of Rancho Cordova and have been very supportive of the community/City. In addition, my business partners in Greenshade, Ross and Nancy Cofer, are long time active members (and past presidents) of the Rotary Club of Rancho Cordova.

I am very concerned about the storage yard that is proposed to go on the lot "directly" across the street from our office building. It will not enhance the neighborhood but instead will cause a loss in value of our building. I would like to meet with you and the City to discuss prior to the July 30th determination date.

Before I retired from public accounting my clients were primarily contractors so I am quite familiar with the various trades. None of our neighbors have outside storage. I don't think the City has outside storage. When we built our office building approximately 20 years ago I would have never expected to have fenced in storage area across the street. My understanding is that the defining nature of the vicinity is established by the name attached to the prevailing zoning district: "**Office Industrial Mixed Use**".

**"D. Office Industrial Mixed-Use (OIMU) Zoning District.** This district is intended to designate property for a wide range of office and light industrial development. The OIMU district is intended for the seamless integration of office and light industrial uses with supporting retail and service uses. Offices may be developed in an office park setting, but most office and light industrial development stands alone. Commercial and other support services may be integrated vertically and/or horizontally in this district, but the **predominant use of integrated developments is office and/or light industrial**. This district also allows some standalone uses that are not traditional or predominant office or industrial uses, such as hospitals, banks/financial institutions, and recreation, education, and public assembly uses.

**C. Heavy Industrial/Manufacturing (M-2) Zoning District.**

" . . . District is generally located in areas of the city where it would not create a substantial impact on sensitive residential, commercial, or office uses. Where feasible, development in the M-2 district may require additional measures to reduce impacts to neighboring properties, such as increased setbacks, landscaping, and screening

The neighboring uses do not, at present, include this form of "makeshift" storage. The prevailing business improvement standard is office industrial with no outdoor storage. The storage capability could be accomplished in the same manner that business is conducted in the neighborhood; that is by construction of a building and containment of

storage therein. The normal protective measures related to product safety, fire safety, and energy conservation are best served by indoor storage.

Even the zoning which is most appropriate for the requested use specifically requires a series of measures to reduce impacts. Screening is not a singular option but one in a list of required measures "increased set backs, landscaping and screening. Screening of the storage facility by means of a fence ("opaque" normally means "slatted") is not an increase in setback, is not landscaping and is not in itself screening. As proposed it provides marginal security and is ineffective as a true screening device.

Please contact me at your earliest convenience.

Sincerely,

Steve Burnett  
Greenshade Investors, LLC  
(916) 802-1188

ATTACHMENT 1

**CITY OF RANCHO CORDOVA, PLANNING DEPARTMENT  
NOTICE OF INTENT TO MAKE DECISION**

**Dated: July 18, 2018**

NOTICE is hereby given that on July 30, 2018 the Community Development Director will consider the following application and will make a determination to **approve** the application. All materials are available for review in the Planning Department, located at 2729 Prospect Park Drive, during the regular business hours of 8:00AM to 5:00PM, Monday through Friday. **Interested parties are requested to provide comment or request an administrative hearing on the application by July 30, 2018.** Should the Planning Department not receive comments or concerns from the neighborhood, the Community Development Director will proceed to take action on the matter.

**GOLD TAILINGS COURT STORAGE YARD—PROJECT NO. DD9807—MINOR DESIGN REVIEW:**

The City of Rancho Cordova Planning Department has reviewed and processed a Minor Design Review for a storage yard with several metal storage containers south of 2851 Gold Tailings Court. The storage yard will be fenced and will include several metal storage containers in order to secure equipment and material for the business located at 2851 Gold Tailings Court.

**LOCATION:** South of 2851 Gold Tailings Court; APN: 072-0490-008-0000

**ZONING:** Office Industrial Mixed Use (OIMU)

**PROJECT PLANNER:** June Cowles, Senior Planner

**PROPOSED FINDINGS & EVIDENCE:**

- 1.) **CEQA Determination:** City staff anticipate finding the project categorically exempt from further CEQA analysis by Section 153013(c) Construction or conversion small structure

**Evidence:** The proposed project includes a fenced storage yard with several metal storage containers for the business located at 2851 Gold Tailings Court. No environmental impacts.

- 2.) The Community Development Director or Designee must make the following findings prior to approving this request:

- A. **Finding:** The proposed project is consistent with the objectives of the General Plan, complies with applicable zoning regulations, Specific Plan provisions, and special planning area provisions, and is consistent with the applicable Rancho Cordova design guidelines.

**Evidence:** The Zoning Code requires a Minor Design Review for the metal storage containers. The project follows all required standards and regulations of the Zoning Code, General Plan, and Design Guidelines. The proposed metal storage containers will be within an opaque fenced storage yard and painted grey to be consistent with the existing building.

- B. **Finding:** The proposed architecture, site design, and landscape are suitable for the purposes of the building and the site and will enhance the character of the neighborhood and community.

**Evidence:** The proposed metal storage containers will be located adjacent to the existing building at 2851 Gold Tailings Court. The applicant owns a roofing construction company and is locating the business at 2851 Gold Tailings Court. The proposed metal storage containers will be within an opaque fenced yard, adjacent to the existing building, and will be painted grey to be consistent with the existing building. The metal storage containers will provide secure storage for equipment and material. The fence is 7-feet in height and opaque and will screen the storage containers from off-site views. The applicant is proposing to continue the existing landscape to the edge of the fence that is along Gold Tailings Court.

- C. **Finding:** The architecture, including the character, scale, and quality of the design, relationship with the site and other buildings, building materials, screening of exterior appurtenances, exterior lighting and signing, and similar elements, establishes a clear design concept and is compatible with the character of existing or anticipated buildings on adjoining and nearby properties.

**Evidence:** The proposed metal containers will be screened from view and painted to be consistent with the existing adjacent building.

- D. **Finding:** The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation.

**Evidence:** The proposed project will not create conflicts with vehicular, bicycle, or pedestrian transportation modes of circulation. The proposed project consist of several metal storage containers to secure equipment and material.

Administrative approvals are appealable to the City Council within 10 days of approval, subject to filing the appropriate appeal application. For more information on this request please contact **June Cowles, Senior Planner at (916) 851-8756 or at [jcowles@cityofranhocordova.org](mailto:jcowles@cityofranhocordova.org).**























Look south from end of Gold Tailings





















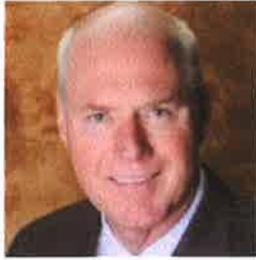








*New sign.*



## Steve Burnett, CPA, CCIFP, CGMA

An entrepreneur with 40 years of leadership, management, business development and accounting experience.

Steve has used his leadership, management and business development skills in successfully growing and running CPA firms and assisting closely held businesses. He has worked extensively with contractors, real estate developers, construction supply companies and manufacturers for over forty years. He currently holds CPA certifications in California, Nevada, and Hawaii. He also holds a California Contractor's License and Real Estate License.

### **Entrepreneur**

Jan 2018 – Present

Owner of several companies.

### **Treasurer / Board Member**

Sacramento Regional Builders Exchange

Dates Served Jan 2016 – Present

**Treasurer/Board Member/Past President**

NAIOP, Sacramento Valley Chapter  
Dates Served Aug 2005 – Present

NAIOP, the Commercial Real Estate Development Association, is a leading organization for developers, owners and related professionals in office, industrial and mixed-use real estate.

**Executive Committee Board/Treasurer/Past President**

Company Name Lambda Alpha International, Sacramento Chapter  
Dates Served 2000 – Present

Founded in 1930, Lambda Alpha International is an Honorary Society for the Advancement of Land Economics.

**Co-Managing Partner**

Carrazco - Innovative Tax Solutions  
Dates Aug 2016 – Dec 2017

Employment Duration 1 yr 5 mos  
Sacramento, CA

Carrazco Innovative Tax Solutions is a California-based firm providing comprehensive tax solutions for businesses of all sizes. The firm assists clients to establish their eligibility for state and federal business tax incentives and to obtain the maximum tax benefit to which they are entitled.

**Partner/Member of Executive Committee**

GALLINA LLP  
Dates Oct 2010 – Jul 2016  
Duration 5 yrs 10 mos  
Rancho Cordova, CA

Demonstrating 27 years of success as managing partner of Burnett + Company LLP, Steve came home to GALLINA through a company merger. Leading the Rancho Cordova office, and member of the Executive Committee, he is recognized both internally and externally as an expert advisor in the construction, real estate, and related industries. Dynamic experiences have led to Steve's deep knowledge of the accounting profession, audit and tax, and his background working collaboratively with contractors, developers, construction supply companies and manufacturers extends beyond

thirty years. As a consultant, Steve is able to provide clients with cutting edge information and tax incentive programs that help them achieve their goals.

Continually ranking #1 on the Sacramento Business Journal's List of Accounting Firms, and highlighted nationally as a Top 100 Firm by Accounting Today for six consecutive years, Steve provides specialty in:

- Accounting & Auditing
- Tax Consulting & Compliance
- Real Estate Transaction Planning
- Cost Segregation Studies
- Business & Tax Planning
- Business Succession Strategy
- Estate & Trust

He has excellent foundational references, graduating with honors from California State University, Sacramento and currently holds CPA certifications in California, Nevada and Hawaii

### **Owner**

Burnett + Company LLP, CPAs, Managing Partner, Rancho Cordova, CA  
Dates 1983 – Oct 2010

## **Education**

### **California State University-Sacramento**

Bachelor of Science Degree

Business Administration.

Graduated with honors, with a Concentration in Accountancy.

**23.110.100 Neighborhood meeting.**

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A neighborhood meeting may be required for certain entitlements as follows:

A. Purpose. Provide for community outreach early in the application process to involve neighborhood stakeholders in a collaborative review of proposed development applications. The neighborhood meeting is intended to result in an application that is responsive to neighborhood concerns, reducing the likelihood for delays and appeals of the application.

B. Expectations. The city expects an applicant to take the reasonable concerns and recommendations of the neighborhood into consideration when preparing an application. The city expects the neighbors will work with the applicant to provide such input.

C. The director shall require a neighborhood meeting for an entitlement request that has the potential to raise concerns of neighborhood or community impact. The need for the neighborhood meeting shall be determined by the director and shall be decided within seven days of the application being deemed complete.

D. If a neighborhood meeting is required, such meeting shall be conducted before the director will schedule a public hearing for the entitlement request.

E. The director or a designee shall be invited to the neighborhood meeting and may attend, but attendance is not required.

F. Requirements.

1. A sign-in sheet must be completed on the night of the neighborhood meeting and submitted to the city as verification that the meeting was held. The sign-in sheet should indicate the date, time, and location of the meeting, a brief heading describing the subject of the proposal, and the signatures of those in attendance at the meeting.

2. Those notified of the neighborhood meeting shall, at a minimum, include all owners and occupants of properties located within 500 feet of the subject property, active homeowners associations, and any other interested parties identified by the director.

3. A presentation at a neighborhood meeting shall include, at a minimum:

## ATTACHMENT 2

- a. Map depicting the location of subject property.
- b. Visual description of the project including a site plan and elevation drawings of any structure.
- c. A description of the nature of the use including sizes, heights of structures, proposed lot sizes, and densities.
- d. The expected or anticipated impacts from development.
- e. Any mitigation proposed by applicant to alleviate the expected and anticipated impacts.
- f. Opportunity for public comment.

4. Applicants shall provide the city with a summary of the meeting and the above meeting materials for inclusion in the land use file, including public concerns that were raised and if those concerns can be addressed by the proposal and how the concerns were addressed. Applicants are encouraged to reconcile and propose modifications to the project to address public concerns prior to a public hearing. [Ord. 4-2017 § 3 (Exh. B); Ord. 12-2011 § 3 (Exh. A); Ord. 27-2008 § 1 (Exh. A § 1.4.100)].

The following descriptions of each zoning district identify the characteristic uses, intensity of uses, and level of development intended for that district:

A. General Commercial (GC). This district is consistent with the General Plan commercial mixed-use designation by providing locations for a wide variety of commercial uses and some higher density residential uses. The purpose of this zone is to provide an area for general commercial and heavier types of commercial uses. The most appropriate location for this district is along major streets or in commercial areas where the heavier uses permitted would not adversely affect surrounding properties.

B. Light Industrial/Manufacturing (M-1) Zoning District. This district is consistent with the General Plan light industrial land use designation by providing locations for the development of industrial uses such as fabrication, manufacturing, assembly, or processing of materials that for the most part are already in processed form and which do not in their maintenance, assembly, manufacture, or plant operation create smoke, gas, odor, dust, sound, or other objectionable influences which might be obnoxious to persons conducting business or residing in this or any other zone.

C. Heavy Industrial/Manufacturing (M-2) Zoning District. This district is consistent with the heavy industrial General Plan land use category by providing appropriate locations for intensive industrial uses that may generate noise, vibration, odor, or other conditions that make them undesirable and incompatible near or in conjunction with residential uses or the city's mixed-use districts. A wide range of industrial manufacturing and warehousing uses are permitted in this district. The M-2 district is generally located in areas of the city where it would not create a substantial impact on sensitive residential, commercial, or office uses. Where feasible, development in the M-2 district may require additional measures to reduce impacts to neighboring properties, such as increased setbacks, landscaping, and screening. [Ord. 4-2017 § 3 (Exh. B); Ord. 12-2011 § 3 (Exh. A); Ord. 7-2010 § 3 (Exh. A); Ord. 27-2008 § 1 (Exh. A § 2.6.020)].

(19 hits)

Home < >

**Chapter 23.316  
GENERAL COMMERCIAL AND INDUSTRIAL ZONES**

Sections:

23.316.010 Purpose.

23.316.020 Characteristics of zoning districts.

23.316.030 Allowed land uses and permit requirements.

III

+

**ATTACHMENT 2**

**Table 23.313-1: Allowed Use and Permit Requirements for Mixed-Use Districts**

| Land Use Category                                  | RMU | CMU | OPMU<br><i>West</i> | OIMU<br><i>EAST</i> | LIBP | VC  | LTC | RTC | Specific Use Regulations |
|--|-----|-----|---------------------|---------------------|------|-----|-----|-----|--------------------------|
| Manufacture, Display, and Sales                    |     |     |                     |                     |      |     |     |     |                          |
| Brewery, Winery, Distillery                        | N   | AUP | AUP                 | AUP                 | AUP  | AUP | AUP | AUP |                          |
| Manufacturing, Major                               | N   | N   | N                   | N                   | C14  | N   | N   | N   |                          |
| Manufacturing, Minor                               | N   | N   | N                   | P                   | P    | N   | N   | N   |                          |
| Manufacturing, Small Scale                         | N   | P   | P                   | P                   | P    | P   | N   | N   |                          |
| Printing and Publishing                            | N   | C   | C                   | P                   | P    | N   | N   | N   |                          |
| Recycling Facility, Processing                     | N   | N   | N                   | N                   | C    | N   | N   | N   |                          |
| Recycling Facility, Scrap and Dismantling Facility | N   | N   | N                   | N                   | C    | N   | N   | N   |                          |
| Research and Development                           | N   | N   | P                   | P                   | P    | N   | N   | N   |                          |
| Storage, Personal Storage Facility                 | N   | N   | N                   | C27                 | P27  | N   | N   | N   | Chapter 23.915 RCMC      |
| <b>Storage, Warehouse</b>                          | N   | N   | N                   | P                   | P    | N   | N   | N   |                          |
| Storage, Yards                                     | N   | N   | N                   | P14                 | P14  | N   | N   | N   |                          |
| Wholesaling and Distribution                       | N   | N   | N                   | P14                 | P14  | N   | N   | N   |                          |

*III*

23.731.080 Special fencing and screening requirements.

This section establishes screening standards and special provisions for walls and fencing. This applies to all walls and fences unless otherwise specified (e.g., South Sunrise special planning area).

A. Screening.

1. Screening <sup>corner</sup> between Different Land Uses. The city encourages the integration and connection of compatible uses. To that end, contiguous barriers in the form of solid fences and walls should only be used between land uses when residential uses are located next to nonresidential uses or when necessary as determined by the designated approval authority. This requirement is not intended to preclude the development of pedestrian/bicycle access points between commercial and residential zones. When used, the screening shall meet the following standards (see Figure 23.731-2, Screening between Different Land Uses):

<sup>plant material</sup> a. The screen shall consist of a solid decorative wall of masonry or similar durable material or, in lieu of decorative masonry, the wall shall be covered with plant materials (e.g., ivy) <sup>South</sup> or shall be blocked from view by landscape materials. The wall shall be a minimum of six feet in height, and shall comply with the height limitations listed in RCMC 23.731.040 (Height limits and locations).

b. The decorative wall shall be architecturally treated on both sides and is subject to approval by the designated approval authority.

c. Openings in the wall or pedestrian connections may be required at the discretion of the designated approval authority.

d. A landscaping strip with a minimum width of five feet shall be installed adjacent to a screening wall, except that a minimum of six feet of landscaping (with trees) shall be provided between a parking lot and a screening wall.

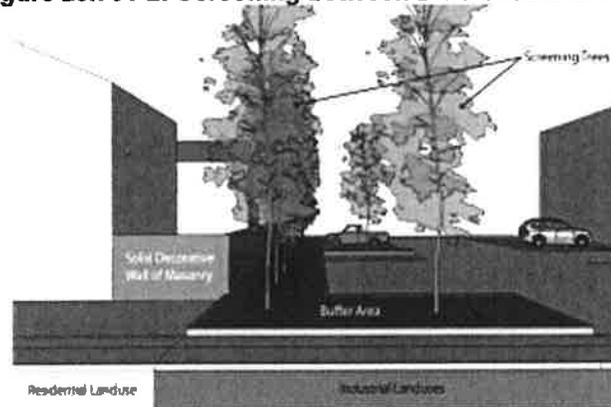
e. The designated approval authority may waive or approve a substitute for the requirements above if it is determined that:

i. The relationship of the proposed uses makes screening unnecessary or undesirable;

ii. The intent of this section is successfully met by alternative screening methods;  
and/or

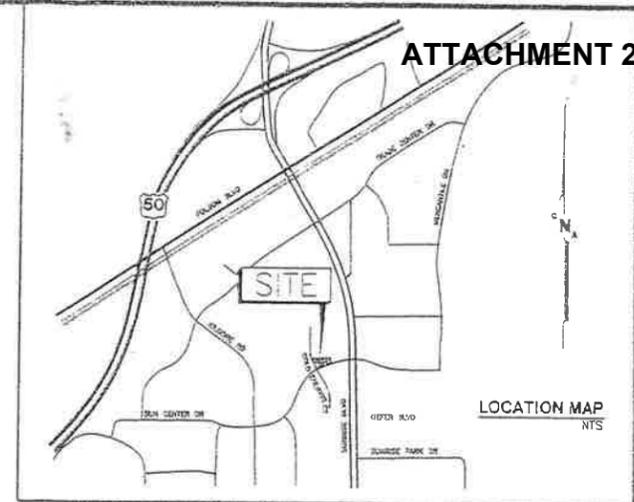
iii. Physical characteristics and/or constraints on the site make required screening  
infeasible or unnecessary.

**Figure 23.731-2: Screening between Different Land Uses**



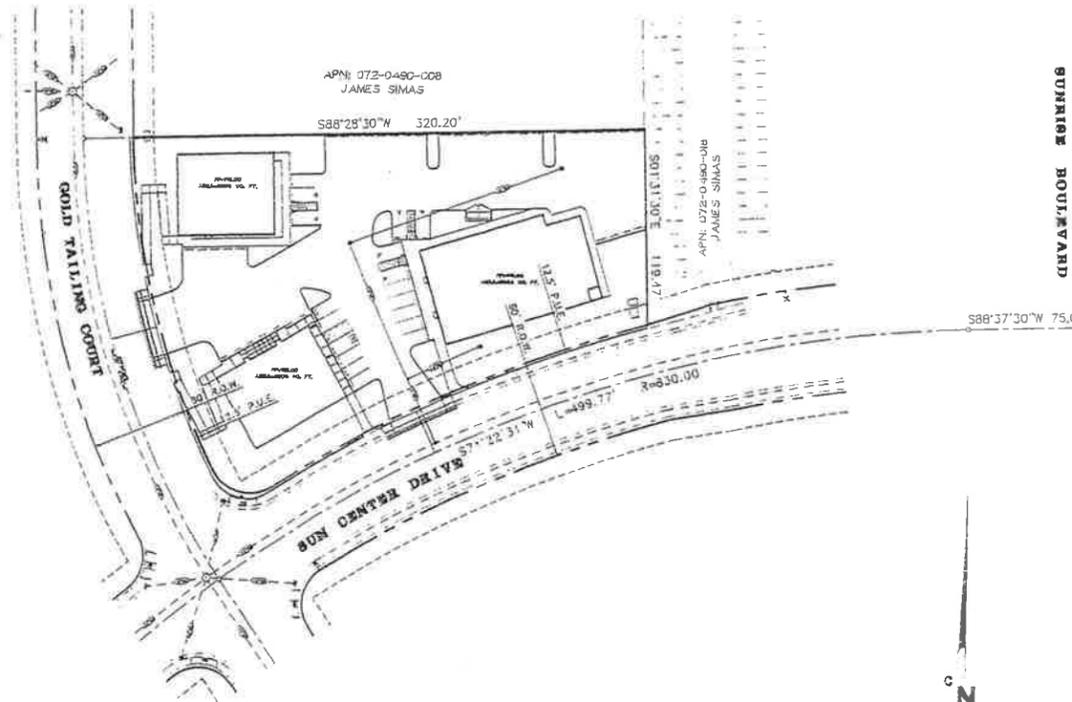
**IMPROVEMENT PLANS FOR:  
11201, 11205 & 11211 SUN CENTER DR.  
CITY OF RANCHO CORDOVA STATE OF CALIFORNIA  
APN: 072-0490-009**

**ATTACHMENT 2**



**NOT APPROVED FOR PRIVATE UNDERGROUND  
FIRE SERVICE INSTALLATION.**

**A SEPARATE PLAN SUBMITTAL IS REQUIRED  
BY THE INSTALLING CONTRACTOR. SEE THE  
SACRAMENTO METROPOLITAN FIRE DISTRICT  
NOTES.**



**SHEET INDEX**

| NO. | DESCRIPTION               |
|-----|---------------------------|
| 1.  | COVER SHEET               |
| 2.  | GENERAL NOTES             |
| 3.  | GRADING AND DRAINAGE PLAN |
| 4.  | EROSION CONTROL PLAN      |
| 5.  | EROSION CONTROL NOTES     |
| 6.  | UTILITY PLAN              |

**UTILITY REPRESENTATIVES**

| UTILITY   | REPRESENTATIVE  | PHONE          |
|---|-----------------|----------------|
| GAS:<br>P.G. & E.                               | PAWNE SCOW      | (916) 386-5011 |
| ELECTRICITY:<br>S.M.U.D.                        | KEITH HUER      | (916) 732-5700 |
| TELEPHONE:<br>SBC                               | JOHN DAVIS      | (916) 775-1743 |
| WATER:<br>SOUTHERN CALIFORNIA WATER<br>COMPANY. | ERNEST GISLER   | (916) 353-3612 |
| FIRE:<br>SAC. METRO FIRE DISTRICT               | MICHAEL MAGEZ   | (916) 942-3357 |
| SEWER:<br>SAC. COUNTY W.G.                      | ROBERT ESPINOZA | (916) 875-6386 |
| DRAINAGE:<br>SAC. COUNTY W.R.                   | GEORGE BOOTH    | (916) 374-6851 |
| CABLE T.V.<br>COMCAST                           | TRINA PACE      | (916) 648-8363 |
| U.S.A.  |                 | (800) 227-2500 |

**LEGEND:**

|                                 | EXISTING | PROPOSED |
|---------------------------------|----------|----------|
| DRAIN LINE, DROP INLET, MANHOLE |          |          |
| SEWER LINE, MANHOLE, SERVICE    |          |          |
| SEWER CLEANOUT                  |          |          |
| WATER LINE, VALVE, SERVICE      |          |          |
| WATER METER                     |          |          |
| FIRE HYDRANT                    |          |          |
| GAS LINE                        |          |          |
| ELECTRICAL CONDUIT              |          |          |
| TELEPHONE CONDUIT               |          |          |
| SPOT ELEVATION                  | +31.36   | 25.40    |
| ASPHALT CONCRETE                | AC       | AC       |
| TOP OF CURB                     | TC       | TC       |
| DRAINAGE FLOW ARROW             |          |          |
| TYPE "A" STREET LIGHT           |          |          |
| TYPE "B" STREET LIGHT           |          |          |
| FENCE                           |          |          |
| TREE TO REMAIN                  |          |          |
| TREE TO BE REMOVED              |          |          |
| CONTOUR LINE, ELEVATION         | 135      |          |
| SLOPE BANK                      |          |          |
| CONCRETE RETAINING WALL         |          |          |
| REDWOOD RETAINING WALL          |          |          |
| CONCRETE CURB                   |          |          |

**PROJECT SITE**  
SCALE: 1" = 50'



WDID#  
5S34C335537

**SACRAMENTO COUNTY MUNICIPAL SERVICES AGENCY**  
**11201, 11205 & 11211 SUN CENTER DR.**

Parcel No.: 072-0490-009  
Map Coordinates: N 2,209,500 E 340,000

Approved: \_\_\_\_\_

Order Number: 909370      Drainage Fee: \_\_\_\_\_  
Checked By: Maria Moreno (874-6448)      Drainage Approved: \_\_\_\_\_

APPROVED: \_\_\_\_\_

DIRECTOR OF COUNTY ENGINEERING      DATE \_\_\_\_\_  
APPROVED: \_\_\_\_\_ EXPIRES ONE (1) YEAR FROM DATE OF APPROVAL

*[Signature]* 2031      15 Sept 06  
SAC. METRO FIRE DEPT.      DATE \_\_\_\_\_  
APPROVED: \_\_\_\_\_ EXPIRES ONE (1) YEAR FROM DATE OF APPROVAL

*[Signature]*      9-22-06  
COUNTY SANITATION DISTRICT 1. (CSD-1)      DATE \_\_\_\_\_  
APPROVED: \_\_\_\_\_ EXPIRES ONE (1) YEAR FROM DATE OF APPROVAL

*[Signature]*      7-15-06  
SOUTHERN CALIFORNIA WATER COMPANY.      DATE \_\_\_\_\_  
APPROVED: \_\_\_\_\_ SHEET \_\_\_\_\_

CNA ENGINEERING INC.      DATE \_\_\_\_\_

| NO. | DESCRIPTION | COUNTY APPROVAL<br>APPROVED BY DATE | SCALE                               | DRAFTED BY: VLADIMIR |
|-----|-------------|-------------------------------------|-------------------------------------|----------------------|
| 1   |             |                                     | HORIZ. 1" = 50'                     | DESIGNED BY: SJN     |
| 2   |             |                                     | VERT. 1" = N/A                      | CHECKED BY: CO       |
| 3   |             |                                     | P.L.D. BK.: N/A                     | DATE: 9/6/2006       |
| 4   |             |                                     | ASSESSOR'S PARCEL NO.: 072-0490-009 |                      |



**CNA ENGINEERING INC.**  
CIVIL ENGINEERING, LAND SURVEYING, PLANNING, STRUCTURAL DESIGN

PHONE: (916) 485-3746  
2575 VALLEY ROAD, SACRAMENTO, CA 95821

**COVER SHEET FOR:  
11201, 11205 & 11211 SUN CENTER DR.**

CITY OF RANCHO CORDOVA      STATE OF CALIFORNIA

|                   |                |  |
|-------------------|----------------|--|
| PLT DATE: 8/13/06 | FILE: 0582.DWG | SHEET<br><b>1</b> OF<br><b>6</b><br>SHEETS |
|-------------------|----------------|--|

**SACRAMENTO COUNTY GENERAL NOTES:**

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE COUNTY OF SACRAMENTO STANDARD CONSTRUCTION SPECIFICATIONS AND IMPROVEMENT STANDARDS. WHERE INCONSISTENCIES EXIST, THE LATEST EDITION SHALL TAKE PRECEDENCE.
- PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 9-13 OF THE STANDARD CONSTRUCTION SPECIFICATIONS AND AS DIRECTED BY THE COUNTY INSPECTOR. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AT ALL TIMES DURING CONSTRUCTION.
- THE CONSULTING ENGINEER SHALL NOTIFY THE COUNTY OF SACRAMENTO CONSTRUCTION INSPECTION OFFICE UPON COMPLETION OF STAKING. (PHONE 875-2700)
- THE CONTRACTOR SHALL NOTIFY THE COUNTY OF SACRAMENTO CONSTRUCTION INSPECTION OFFICE TWO WORKING DAYS PRIOR TO THE INTENTION TO COMMENCE WORK. THE CONTRACTOR SHALL NOT START ANY GRADING UNLESS THE COUNTY COMPLETES A PRE-CONSTRUCTION MEETING. (PHONE 875-2700)
- THE COUNTY OF SACRAMENTO IS A MEMBER OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ONE-CALL PROGRAM. THE CONTRACTOR OR ANY SUB-CONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS OF THE U.S.A. TWO WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING THE TOOL FREE NUMBER 1-800-227-2500. THOMAS BROTHERS MAP PAGE 300 INDEX A1. (2005 EDITION)
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS AND MARKERS DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL SEWER SERVICES SHALL HAVE FOUR TO FIVE FEET OF COVER AT THE PROPERTY LINE OR RIGHT-OF-WAY, UNLESS OTHERWISE NOTED ON PLANS.
- EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH SECTION 11 OF THE COUNTY OF SACRAMENTO IMPROVEMENT STANDARDS.
- PRIOR TO REQUESTING FINAL ACCEPTANCE OF IMPROVEMENTS, THE CONSULTING ENGINEER SHALL SET SURVEY MONUMENTS AS SPECIFIED IN SECTION 12-1 OF THE COUNTY OF SACRAMENTO IMPROVEMENT STANDARDS.
- WHENEVER THE WORK AREA IS ADJACENT TO A TRAFFIC LANE AND THERE IS A CUT, DITCH, OR TRENCH OVER TWO INCHES DEEP, THE CONTRACTOR SHALL MAINTAIN CONTINUOUS BARRICADES SPACED AT APPROXIMATELY 20 FOOT INTERVALS FOR THE FIRST 100 FEET FROM THE BEGINNING OF THE CUT, DITCH, OR TRENCH, AND AT APPROXIMATELY 30 FOOT INTERVALS THEREAFTER. IF THE CUT, DITCH, OR TRENCH IS MORE THAN 10 FEET AWAY FROM A TRAFFIC LANE, THE BARRICADE SPACING MAY BE GREATER BUT SHALL NOT EXCEED 200 FEET.
- UNLESS SPECIFICALLY SET FORTH AS SPECIAL PROVISIONS, ALL MARKED LANES OF TRAFFIC SHALL BE UNOBSTRUCTED ON SUN CENTER DRIVE AND GOLD TAILING COURT IN EACH DIRECTION DURING THE PEAK TRAFFIC HOURS OF 7:00 TO 3:00 A.M. AND 3:30 TO 5:00 P.M. A TRAFFIC LANE SHALL BE CONSIDERED UNOBSTRUCTED IF IT IS SURFACED WITH ASPHALT AND IS AT LEAST TEN FEET WIDE.
- NO PAVEMENT WORK WILL OCCUR WITHIN THE ROAD RIGHT-OF-WAY PRIOR TO COMPLETION OF ANY NECESSARY UTILITY POLE RELOCATION WITHIN THAT RIGHT-OF-WAY.
- ANY WATER ENTERING THE SANITARY SEWER THAT WILL BE CONSTRUCTED UNDER THESE PLANS SHALL NOT BE DISCHARGED TO THE EXISTING SYSTEM. PLUGS MUST BE INSTALLED IN EXISTING MANHOLES, AS NECESSARY, TO PERMIT PUMPING THE NEW SYSTEM CLEAR OF WATER AND DEBRIS PRIOR TO ACCEPTANCE. CARE SHALL BE EXERCISED IN LOCATING PLUGS TO AVOID INTERRUPTING SERVICE TO EXISTING CONNECTIONS. MORTAR AND BRICKS OR MECHANICAL PLUGS MUST BE USED. INFLATABLE DEVICES ARE NOT SATISFACTORY.
- EXISTING ASPHALT SURFACES SHALL BE CUT TO A NEAT, STRAIGHT LINE PARALLEL WITH, OR PERPENDICULAR TO THE STREET CENTERLINE. THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING. THE EXPOSED BASE MATERIAL SHALL BE GRADED, RE-COMPACTED, AND RESEALED PRIOR TO PAVING.
- THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THEREFORE, THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND FACILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION'S OF SUCH UNDERGROUND UTILITIES, WHICH MAY BE ENCOUNTERED BUT ARE NOT SHOWN ON THESE IMPROVEMENT PLANS. THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION.
- THE OWNER OR CONTRACTOR, OR BOTH ARE RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND REQUESTING A VERIFICATION AT THE CONSTRUCTION SITE, OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES WHERE SUCH UTILITIES MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE IMPROVEMENT PLANS.
- THE CONTRACTOR SHALL EXPOSE THE ENDS OF EXISTING SEWER LINES AND VERIFY THEIR LOCATION AND ELEVATION, PRIOR TO PLACEMENT OF ANY SEWER PIPE. ALL COST OF SUCH EXCAVATION AND BACK FILL SHALL BE INCLUDED IN THE PRICE PAID FOR VARIOUS OTHER ITEMS OF WORK.
- PAVING CONTRACTOR TO BE RESPONSIBLE FOR ADJUSTING TO GRADE ALL VALVE BOXES AND BLOW-OFF VALVE BOXES FOR WATER DISTRIBUTION SYSTEM.
- SUFFICIENT EQUIPMENT SHALL BE AVAILABLE TO PROVIDE DUST CONTROL AT ALL TIMES DURING EARTH MOVING OPERATIONS. AREAS SURROUNDING THE WORK SHALL BE KEPT CLEAN AND RETURNED TO ORIGINAL CONDITION UPON COMPLETION OF THIS CONTRACT.
- TRENCH SAFETY PLANS: BEFORE EXCAVATION FOR A TRENCH FIVE FEET (5') OR MORE IN DEPTH THE CONTRACTOR SHALL SECURE A PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY (2422 ARDEN WAY, SUITE 35, SACRAMENTO, CA - PHONE 445-5818) A COPY OF THIS PERMIT MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
- CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR THE CONDITIONS OF THE PREMISES ON WHICH THE WORK IS PERFORMED AND FOR THE SAFETY OF ALL PERSONS AND PROPERTY ON THE SITE, BOTH DURING AND OUTSIDE OF NORMAL WORKING HOURS, UNTIL SUCH WORK IS ACCEPTED BY THE OWNERS.
- TOTAL PAVEMENT TONNAGE: A.C. = JV6 TONS A.B. = JV6 TONS
- THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ANY WORK CONSTRUCTED IF STAKED BY OTHERS.
- THE CONTRACTOR SHALL REQUEST CONSTRUCTION STAKES FOR ANY PARTICULAR PHASE OF THE WORK AT LEAST TWENTY-FOUR (24) HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL REQUEST A FORM OR GRADE CHECK PRIOR TO PLACING OF IMPROVEMENTS.
- WHERE CNA ENGINEERING IS TO PROVIDE CONSTRUCTION STAKES, CONSTRUCTION STAKES FOR ALIGNMENT AND GRADE WILL BE FURNISHED TO THE CONTRACTOR'S ONE TIME ONLY. THE SPACING AND OFFSET OF THE STAKES SHALL BE COORDINATED WITH CNA ENGINEERING BY THE CONTRACTOR. IN SUCH CASE, IF STAKES AND/OR MARKINGS ARE DESTROYED, THE COSTS OF REPLACING THEM WILL BE DEDUCTED BY THE OWNER FROM ANY MONIES DUE, OR TO BECOME DUE TO THE CONTRACTOR, REQUESTS FOR RESETING LOST STAKES OR AUTHORIZATION OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SUCH AUTHORIZATION.

A.C. = 1.89 TONS PER 1 CUBIC YARD  
A.B. = 1.84 TONS PER 1 CUBIC YARD

**SACRAMENTO METROPOLITAN FIRE DISTRICT NOTES:**

- THE REQUIRED FIRE FLOW FOR PROTECTION OF THE PROPOSED PROJECT IS 1500 GALLONS PER MINUTE (GPM), AT 20 POUNDS PER SQUARE INCH (PSI), FOR DURATION OF 2 HOUR. THIS FLOW IS BASED ON THE PREMISE THAT THE STRUCTURE IS TO BE OF TYPE 1 CONSTRUCTION OF NOT MORE THAN 1300 TOTAL SQUARE FEET FOR BUILDING 1, AND 11500 TOTAL SQUARE FEET FOR BUILDING 2 WITH INSTALLATION OF A FULL COVERAGE AUTOMATIC FIRE SPRINKLER SYSTEM. THIS REQUIRED FIRE FLOW IS IN ADDITION TO ANY DOMESTIC WATER DEMANDS. A CHANGE IN ANY OF THESE CONDITIONS MAY INCREASE OR DECREASE THE REQUIRED FIRE FLOW.
- PROVIDE A LETTER FROM THE WATER DISTRICT INDICATING THAT THEY CAN PROVIDE THE REQUIRED "FIRE FLOW".
- REQUIRED FIRE ACCESS LANES SHALL BE INSTALLED, IDENTIFIED AND APPROVED PRIOR TO CONSTRUCTION OR STORAGE OF COMBUSTIBLE MATERIAL TO THE "FIRST JFF" (UP TO THE LAST 1" OF PAVEMENT). THE FIRE ACCESS LANES SHALL BE DESIGNED TO MEET THE REQUIREMENTS FOR AN ASSUMED TRAFFIC INDEX 5.5 (TWO INCHES OF ASPHALT CONCRETE ON SIX INCHES OF AGGREGATE BASE).
- THE FOLLOWING METHODS OF FIRE LANE IDENTIFICATION ARE TAKEN FROM SECTION 22500.1 OF THE CALIFORNIA VEHICLE CODE AND AMENDED BY FIRE DISTRICT POLICY. ONE OF THE THREE METHODS PRESENTED BELOW MUST BE PRESENT FOR ALL AREAS DESIGNATED AS A FIRE ACCESS LANE.
  - POSTING OF A SIGN EVERY 25' ALONG AND IMMEDIATELY ADJACENT TO, AND VISIBLE FROM, THE DESIGNATED FIRE LANE CLEARLY STATING IN LETTERS NOT LESS THAN ONE INCH IN HEIGHT THAT THE PLACE IS A FIRE LANE AND NO PARKING IS PERMITTED.
  - BY OUTFITTING OR PAINTING THE PAVEMENT RED WITH APPROVED PAVEMENT PAINT AND, IN CONTRASTING COLOR, MARKING THE PAVEMENT EVERY 25' WITH WORDS "FIRE LANE - NO PARKING" WHICH ARE CLEARLY VISIBLE FROM A VEHICLE.
  - BY A RED CURB OR PAINT ON THE EDGE OF THE ROADWAY UPON WHICH IS CLEARLY MARKED EVERY 25' WITH THE WORDS "FIRE LANE - NO PARKING".
- REQUIRED FIRE HYDRANTS CAPABLE OF PROVIDING THE REQUIRED FIRE FLOW SHALL BE INSTALLED, TESTED AND APPROVED PRIOR TO ANY CONSTRUCTION OR STORAGE OF COMBUSTIBLE MATERIAL.
- FIRE HYDRANTS SHALL BE SPACED SO THAT A FIRE HYDRANT WILL BE AVAILABLE WITHIN 150 FEET OF ANY PORTION OF THE REQUIRED FIRE LANE.
- THE FOLLOWING INFORMATION APPLIES TO THE INSTALLATION OF PRIVATE FIRE HYDRANTS AND FIRE SPRINKLER SUPPLY PIPING:
  - PRIOR TO INSTALLATION, THE INSTALLING CONTRACTOR SHALL SUBMIT UNDER SEPARATE APPLICATION AND PERMIT, A SCHEMATIC DRAWING SHOWING THE PART BY PART INSTALLATION ARRANGEMENT OF ALL UNDERGROUND PIPING AND APPURTENANCES, INCLUDING THE MANUFACTURER'S DATA SHEETS AND A PARTS LIST WITH THE LISTING NUMBERS. THE APPROVED CIVIL DRAWING, ALONE, DOES NOT MEET THIS REQUIREMENT.
  - FIRE HYDRANTS SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS UNLESS THE WATER PURVEYOR HAVING JURISDICTION HAS A SPECIFIC HYDRANT REQUIREMENT:
    - HYDRANTS SHALL HAVE A .9 COEFFICIENT OF DISCHARGE OR GREATER AND WITH A MAXIMUM HEAD LOSS OF 2 PSI AT 1000 GPM. PROVIDE SPECIFICATION SHEET TO PLAN REVIEW SECTION PRIOR TO INSTALLATION.
    - OUTLETS SHALL BE NATIONAL STANDARD THREAD WITH ONE 4.5 INCH AND TWO 2.5 INCH OUTLETS. HYDRANTS TO BE PAINTED RUSTOLEUM WHITE OR EQUAL.
  - SPACING IS A MAXIMUM OF 300 FEET ON CENTER.
- FIRE HYDRANTS SHALL BE LOCATED WITHIN EIGHT (8) FEET OF THE FIRE ACCESS LANE WITH THE 4-1/2 INCH OUTLET FACING THE FIRE ACCESS LANE. THE BOTTOM FLANGE IS TO BE INSTALLED A MINIMUM OF TWO (2) INCHES ABOVE THE FINISHED GRADE. THE CENTERLINE OF THE 4-1/2-INCH DISCHARGE OUTLET IS TO BE A MINIMUM OF FIFTEEN (15) INCHES ABOVE THE FINISHED GRADE.
- ALL RUNS OR NON-METALLIC WATER PIPE, INCLUDING SERVICES, SHALL HAVE A NO. 12 GAUGE SOLID SOFT DRAWN COPPER WIRE LAID ALONG THE PIPE TO FACILITATE LOCATING THE PIPE AT A LATER DATE. THE WIRE SHALL BE STUBBED UP INSIDE EACH VALVE BOX. CONTINUITY TEST SHALL BE CONDUCTED ON EACH SPLICE AT ALL LOCATIONS.
- ALL ABOVE GROUND VALVES FOR CONTROLLING THE WATER SUPPLY FOR ON-SITE FIRE HYDRANTS AND AUTOMATIC SPRINKLER SYSTEMS SHALL BE ELECTRICALLY SUPERVISED.
- PLASTIC PIPING APPROVED FOR UNDERGROUND INSTALLATIONS SHALL BE PVC, C900, CLASS 150 OR GREATER, AND BE LISTED FOR SUCH USE.
- ALL PIPING SHALL BE LAID IN A SIX INCH (6") BED OF SAND OR NATURAL GRAVEL NOT OVER ONE INCH IN DIAMETER AND HAVE A TWELVE INCH (12") FILL OF SAND OR NATURAL GRAVEL NOT OVER ONE INCH IN DIAMETER. PROVIDE A TRENCH SECTION ON THE PLANS.
- ALL FASTENERS (NUTS, BOLTS, ETC.) SHALL BE CLEANED AND COATED WITH BITUMINOUS CORROSION RETARDING MATERIAL AFTER INSTALLATION AND PRIOR TO INSPECTION. FITTINGS OR FASTENERS SHALL NOT BE WRAPPED OR COVERED WITH PLASTIC OR COVERED WITH CONCRETE.
- CONCRETE THRUST BLOCKS OR OTHER APPROVED RETAINING WALL BE INSTALLED AT ALL LOCATIONS WHERE PIPING CHANGES DIRECTION.
- A 200-PSI HYDROSTATIC PRESSURE TEST SHALL BE PERFORMED ON ALL INSTALLED PIPING AND APPURTENANCES FOR A PERIOD OF TWO HOURS. THE PIPING SHALL BE CENTER-LOADED DURING PRESSURE TESTING WITH ALL JOINTS, FITTINGS AND APPURTENANCES UNCOVERED. FAILURE TO COMPLY WITH THIS SECTION WILL RESULT IN THE UNCOVERING OF THE PIPING FOR VISUAL INSPECTION.
- A FIRE SPRINKLER SYSTEM FLUSH, USING A FULL PIPE DIAMETER DISCHARGE, SHALL BE CONDUCTED AND WITNESSED BY THE FIRE DISTRICT PRIOR TO CONNECTION TO THE ABOVE GROUND FIRE SPRINKLER SYSTEM. THE FIRE DEPARTMENT CONNECTION PIPING SHALL ALSO BE FLUSHED IF CONNECTED TO THE FIRE SPRINKLER SUPPLY PIPING BELOW GRADE. PIPING SHALL BE FLUSHED UNTIL ALL FOREIGN OBJECTS HAVE BEEN DISCHARGED AND WATER IS CLEAR.
- FIRE HYDRANT PIPING SHALL BE FLUSHED FROM THE 4 1/2 INCH OUTLET ON ALL HYDRANTS.
- THE CONTRACTOR SHALL PLACE A "BLUE DOT" REFLECTIVE MARKER IN THE CENTER OF THE FIRE LANE ADJACENT TO EACH FIRE HYDRANT.
- ANY GATES OR BARRIERS ACROSS FIRE ACCESS LANES WILL REQUIRE A SEPARATE PLAN SUBMITTAL AND APPROVAL PRIOR TO INSTALLATION.

**COUNTY INSPECTOR:**

PLEASE EVALUATE THE EXISTING CURB, GUTTER AND SIDEWALK SECTIONS FOR NEEDED REPAIRS. PLEASE NOTE THAT DAMAGED CURB & GUTTER SECTIONS AT EXISTING BUS-STOPS MUST BE REPLACED WITH TYPE 2 REINFORCED CURB & GUTTER PER DRAWINGS 4-21 AND 4-22. REPAIRS SHALL BE MADE IN ACCORDANCE WITH SECTION 14-4 OF THE COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.

**SEWER NOTES:** REVISED 3/01/04

- DIMENSIONS SHOWN ON PLANS ARE TO THE CENTERLINE OF PIPE AND OH MANHOLES, UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL BE 48" IN DIAMETER, UNLESS OTHERWISE SHOWN.
- MANHOLES LOCATED OUTSIDE OF PAVED AREAS SHALL HAVE RIM SET TWELVE (12") ABOVE GROUND SURFACE, OR TO GRADES AS NOTED.
- MANHOLE VACUUM TESTING PER ASTM D1244-93 IS REQUIRED WITH THE ADDITION OF THE FOLLOWING CONSTRAINT: A MINIMUM OF 9 INCHES OF MERCURY SHALL BE HELD FOR A MINIMUM TIME OF ONE MINUTE.
- SANITARY SEWER MAINS SHALL BE CONSTRUCTED OF EXTRA STRENGTH (VC P) PIPE WITH TYPE 3 ALTERNATE BEDDING AND BACKFILL, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL USE SIX-FOOT (6) PIPE LENGTHS IN CURVED SECTIONS. JOINT DEFLECTION SHALL COMPLY WITH COUNTY STANDARDS AND MANUFACTURERS RECOMMENDATIONS.
- SERVICE SEWERS SHALL BE CONSTRUCTED PER SACRAMENTO COUNTY STANDARD DRAWING 7-5. ANY SEWER SERVICE ENTERING A MANHOLE SHALL BE INSTALLED WITH THE INVERT ELEVATION OF THE SERVICE PIPE MATCHING THE CROWN ELEVATION OF THE EXIT SEWER EXCEPT WHEN AN INTERNAL DROP CONNECTION IS USED. IF THE MANHOLE AT THE END OF A CUL-DE-SAC IS CONSTRUCTED WITH A PRE CAST BASE, THE INVERT OF ANY SERVICE STUBS SHALL BE A MINIMUM OF ONE INCH ABOVE THE INVERT OF THE EXIT PIPE.
- ALTERNATIVE FOR VCP SERVICE SEWER PIPE FOUR INCHES (4"); ACRYLONITRILE - BUTADIENE - STYRENE (ABS) SOLID PIPE 4" ABS SOLID PIPE AND FITTINGS SHALL CONFORM TO AND MEET THE REQUIREMENTS OF: ASTM DESIGNATION D2661, SDR 18.99, MINIMUM WALL THICKNESS 0.237 INCHES.
- CONSTRUCTION OF A CLEANOUT TO GRADE FOR ALL SEWER SERVICES IS REQUIRED. CONSTRUCTION OF THE TOP 1' OF THE CLEANOUT RISER MAY BE DELAYED UNTIL THE INSTALLATION OF THE BUILDING SEWER AT THE OPTION OF THE DEVELOPER, EXCEPT WHERE THE WATER MAIN IS TO BE INSTALLED BEHIND THE SIDEWALK (REFER TO NOTE 10; STANDARD DRAWING 7-5). IF THE CONSTRUCTION OF THE TOP 1' OF THE RISER IS DELAYED, THE LOCATION OF THE SERVICE SHALL ACCURATELY BE STAKED WITH A 4" x 4" POST.
- ANY WATER ENTERING THE SANITARY SEWER SYSTEM TO BE CONSTRUCTED UNDER THESE PLANS SHALL NOT BE DISCHARGED TO THE EXISTING SYSTEM. PLUGS MUST BE INSTALLED IN EXISTING MANHOLES AS NECESSARY TO PERMIT PUMPING THE NEW SYSTEM CLEAR OF WATER AND DEBRIS PRIOR TO ACCEPTANCE. CARE SHALL BE EXERCISED IN LOCATING PLUGS TO AVOID INTERRUPTING SERVICE CONNECTIONS. MORTAR AND BRICKS OR MECHANICAL DEVICE PLUGS MUST BE USED. INFLATABLE DEVICES ARE NOT SATISFACTORY.
- COUNTY SANITATION DISTRICT 1 REQUIRES THE CONTRACTOR TO VIDEO RECORD ALL SEWER MAINS AND DRAIN LINES FROM SIX INCH (6") TO AND INCLUDING THIRTY-SIX INCH (36") DIAMETER IN ACCORDANCE WITH SECTION 38 OF THE SACRAMENTO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS. ADDITIONAL INFORMATION AND ASSIGNMENT OF SEWER MANHOLE NUMBERS MAY BE OBTAINED AT THE WATER QUALITY DEPARTMENT CUSTOMER SERVICE OFFICE AT 10545 ARMSTRONG AVE., SUITE 101, MATHER, CA 95655. THE INSPECTION RECORD SHALL BE PROVIDED TO SACRAMENTO COUNTY WATER UTILITY DIVISION STAFF FOR REVIEW PRIOR TO ACCEPTANCE OF SEWER IMPROVEMENT.

**SACRAMENTO COUNTY TRAFFIC CONTROL NOTE:**

- A TRAFFIC CONTROL PLAN SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO SACRAMENTO COUNTY CONSTRUCTION MANAGEMENT DIVISION FOR REVIEW AT LEAST 20 DAYS PRIOR TO COMMENCEMENT OF ANY WORK. AN ENCROACHMENT PERMIT OR PLAN APPROVAL MUST FIRST BE OBTAINED PRIOR TO ANY WORK COMMENCING WITHIN THE COUNTY RIGHT-OF-WAY.

**STORM DRAIN SYSTEM NOTES:**

- ALL CONSTRUCTION AND MATERIALS FOR DRAINAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE COUNTY OF SACRAMENTO IMPROVEMENT STANDARDS AND STANDARD CONSTRUCTION SPECIFICATIONS, WHERE DISCREPANCIES EXIST, APPROPRIATE NOTES SHALL BE ADDED TO THE PLANS, TAKING PRECEDENCE OVER THE STANDARD CONSTRUCTION SPECIFICATIONS.
- THE MINIMUM COVER REQUIREMENT DURING CONSTRUCTION FOR TEMPORARY CONSTRUCTION VEHICLE LOADING SHALL BE 4-FEET FOR METAL AND PLASTIC PIPE, AND 3 FEET FOR REINFORCED CONCRETE PIPE.
- THE CONTRACTOR SHALL PLACE THE PROPER STRENGTH PIPE IF TRENCH CONDITIONS ENCOUNTERED DIFFER FROM THE DESIGN TRENCH.
- ALL STORM DRAINPIPES, MANHOLES, AND FITTING CONNECTIONS SHALL BE WATER AND SOIL TIGHT. THE ALLOWABLE INFILTRATION FOR ANY PORTION OF THE STORM DRAIN SYSTEM SHALL BE MEASURED BY A WEIR OR CURRENT METER PLACED IN THE APPROPRIATE MANHOLE AND SHALL NOT EXCEED FIVE HUNDRED (500) GALLONS PER INCH OF INTERNAL DIAMETER PER MILE PER DAY. THE ALLOWABLE WATER EXFILTRATION FOR ANY LENGTH OF THE STORM DRAIN PIPE BETWEEN MANHOLES SHALL BE MEASURED AND SHALL NOT EXCEED FIVE HUNDRED (500) GALLONS PER INCH OF INTERNAL PIPE DIAMETER PER MILE OF PIPE PER DAY. DURING EXFILTRATION TESTING, THE MAXIMUM INTERNAL PIPE PRESSURE AT THE LOWEST END SHALL NOT EXCEED ELEVEN FEET (11') OF WATER OR 5.0 PSI AND THE INTERNAL WATER HEAD SHALL BE TWO FEET (2') HIGHER THAN THE TOP OF THE PIPE OR TWO FEET (2') HIGHER THAN THE GROUND WATER LEVEL, WHICHEVER IS GREATER. VACUUM 20/NO 50 TESTING METHOD OR ALTERNATIVE TESTING METHODS MAY BE SUBMITTED FOR THIRTY-INCH (30") OR GREATER INTERNAL DIAMETER PIPES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING EQUIPMENT AND LABOR FOR PERFORMING TESTS AND MAKING MEASUREMENTS.
- RESILIENT CONNECTORS ARE REQUIRED BETWEEN THE MANHOLE AND PIPE EXCEPT IN THE CASE OF TYPE 3 SADDLE MANHOLES (STD. DWG. 9-7).
- MANHOLE LEAKAGE TESTING: ALL NEW MANHOLES SHALL BE TESTED FOR LEAKAGE AFTER ASSEMBLY BUT PRIOR TO BACKFILLING AROUND THE MANHOLE. THE CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS, AND EQUIPMENT NECESSARY TO MAKE THE TEST AND TO PERFORM ANY WORK INCIDENTAL THERETO. THE CONTRACTOR SHALL CORRECT ANY EXCESS LEAKAGE AND REPAIR ANY DAMAGE TO THE MANHOLE AND ITS APPURTENANCES AT THE CONTRACTOR'S OWN EXPENSE. THE MANHOLES SHALL BE TESTED FOR LEAKAGE BY THE FOLLOWING METHOD: MANHOLE VACUUM TEST: ALL LIFT HOLES, CONNECTIONS, AND INSIDE AND OUTSIDE JOINTS SHALL BE SEALED AS DESCRIBED IN SECTION 55-86. "PRECAST CONCRETE MANHOLES" OF THE STANDARD CONSTRUCTION SPECIFICATIONS. ALL PIPES ENTERING THE MANHOLE SHALL BE PLUGGED, TAKING CARE TO SECURELY BRACE THE PLUG FROM BEING DRAWN INTO THE MANHOLE. THE TEST HEAD SHALL BE PLACED AT THE INSIDE OF THE TOP OF THE CONE SECTION AND THE SEAL INFLATED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. IN THE CASE OF FLAT TOP MANHOLES, THE TEST HEAD SHALL BE PLACED AT THE TOP SURFACE OF THE FLAT TOP. A VACUUM OF 10-INCHES OF MERCURY (APPROX. 3 PSI) SHALL BE DRAWN AND THE VACUUM PUMP SHUT OFF. WITH THE VALVES CLOSED, THE TIME SHALL BE MEASURED FOR THE VACUUM DROP TO 9-INCHES. THE MANHOLE SHALL PASS IF THE TIME IS GREATER THAN 30 SECONDS FOR 48-INCH MANHOLES, 87 SECONDS FOR 34-INCH MANHOLES, 75 SECONDS FOR 30-INCH MANHOLES, 30 SECONDS FOR 72-INCH MANHOLES, 105 SECONDS FOR 34-INCH MANHOLES, AND 20 SECONDS FOR 36-INCH MANHOLES. IF THE MANHOLE FAILS THE INITIAL TEST, NECESSARY REPAIRS SHALL BE MADE WHILE THE VACUUM IS STILL BEING DRAWN. RE-TESTING SHALL PROCEED UNTIL A SATISFACTORY TEST IS OBTAINED.
- ALL DRAINAGE INLETS IN THE PUBLIC ROW AND DRAINAGE EASEMENTS SHALL HAVE A PERMANENT STORM DRAIN MESSAGE "NO DUMPING-FLOWS TO CREEK" OR OTHER APPROVED MESSAGE CONSISTENT WITH SECTION 11-17 AND STD. DWGS. 11-10A AND 11-10B OF THE COUNTY IMPROVEMENT STANDARDS.

BENCHMARK ELEV: 118.892  
SACTO CO. 3.M. NO. 9M 19-39  
RAMSET & 78" METAL DISK STAMPED "CO.  
3.M. 9-39" LOCATED N. OF BACK  
VERTICAL CURB & GUTTER OVER D.I. @  
EAST END OF CURB RETURN @  
NORTHEAST CORNER OF SUNRISE GOLD  
DR. (NORTH) & SUNRISE BLVD.

| NO. | DESCRIPTION | COUNTY APPROVAL   | SCALE                               | DRAFTED BY: VLADIMIR |
|-----|-------------|-------------------|-------------------------------------|----------------------|
| 1   |             | APPROVED BY: DATE | HORIZ. 1" = 50'                     | DESIGNED BY: SUN     |
| 2   |             |                   | VERT. 1" = N/A                      | CHECKED BY: CO       |
| 3   |             |                   | PLD 3/6, N/A                        | DATE: 9/6/2006       |
| 4   |             |                   | ASSESSOR'S PARCEL NO.: 072-0490-009 |                      |

|     |             |                   |                                     |                      |
|-----|-------------|-------------------|-------------------------------------|----------------------|
| NO. | DESCRIPTION | COUNTY APPROVAL   | SCALE                               | DRAFTED BY: VLADIMIR |
| 1   |             | APPROVED BY: DATE | HORIZ. 1" = 50'                     | DESIGNED BY: SUN     |
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| 3   |             |                   | PLD 3/6, N/A                        | DATE: 9/6/2006       |
| 4   |             |                   | ASSESSOR'S PARCEL NO.: 072-0490-009 |                      |



**CNA ENGINEERING INC.**  
CIVIL ENGINEERING: LAND SURVEYING; PLANNING; STRUCTURAL DESIGN  
PHONE: (916) 485-3746  
2575 VALLEY ROAD, SACRAMENTO, CA 95821

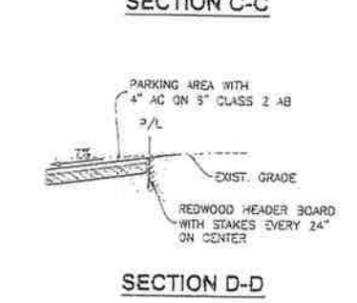
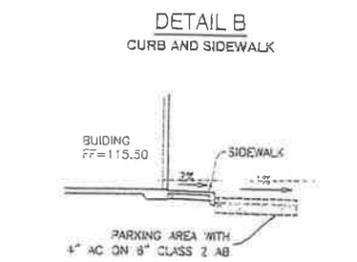
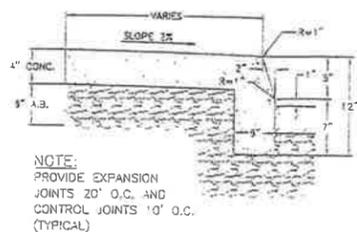
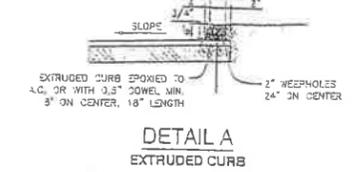
**GENERAL NOTES FOR:  
11201, 11205 & 11211 SUN CENTER DR.**

|                                      |   |
|--------------------------------------|---|
| PLOT DATE: 9/13/06<br>FILE: 0582.DWG | SHEET<br><b>2</b><br>OF<br><b>6</b><br>SHEETS |
|--------------------------------------|---|

**CONSTRUCTION NOTES:**

|     |   |
|-----|---|
| D-1 | CONST. 36" TYPICAL MH. PER SAC. COUNTY DETAIL 9-7B<br>RIM=115.01 (MEET EXIST. AC), FL 12" IN=109.41,<br>FL 12" OUT=109.27 |
| D-2 | PLACE 43 L.F. 12" SDR-35-PVC, S=.005  |
| D-3 | CONST. 36" TYPICAL MH. PER SAC. COUNTY DETAIL 9-7B<br>RIM=115.17, FL=109.53   |
| D-4 | PLACE 49 L.F. 10" SDR-35-PVC, S=.041  |
| D-5 | PLACE 91 L.F. 10" SDR-35-PVC, S=.005  |
| D-5 | CONST. TYPE "B" DI. WITHOUT HOOD PER SAC. COUNTY<br>DETAIL 9-10B (SEE NOTE BELOW TABLE)<br>RIM=114.92, FL=111.82          |
| D-7 | CONST. TYPE "B" DI. WITHOUT HOOD PER SAC. COUNTY<br>DETAIL 9-10B (SEE NOTE BELOW TABLE)<br>RIM=113.56, FL=110.09          |
| D-8 | PLACE 140 L.F. 10" SDR-35-PVC, S=.0035  |
| D-9 | CONST. TYPE "B" DI. WITHOUT HOOD PER SAC. COUNTY<br>DETAIL 9-10B (SEE NOTE BELOW TABLE)<br>RIM=114.07, FL=110.58          |

NOTE:  
CONSTRUCTOR CAN USE CHRISTY PRECAST D.I. 24"x36", MODEL NO. U32 OR JENSEN PRECAST D.I. 24"x36", MODEL NO. D1243636

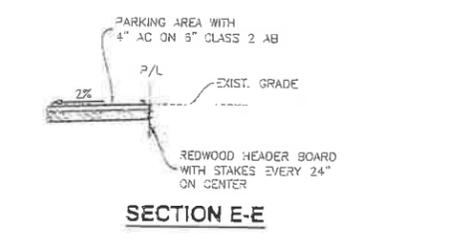


**CONSTRUCTION NOTES:**

|     |   |
|-----|---|
| N-1 | CONSTRUCT TRAFFIC PAVEMENT SECTION WITH 4" A.C. ON 8" CLASS 2 A.B. (TOTAL THICKNESS 10")  |
| N-2 | STA 1+56.57 ON SUN CENTER DRIVE<br>STA 1+92.38 ON GOLD TAILING COURT<br>CUT & REMOVE EXIST. DRIVEWAY, CURB, GUTTER, SIDEWALK & CONSTRUCT 35" TYPE A-5 COMMERCIAL DRIVEWAY PER COUNTY OF SACRAMENTO DETAIL 4-1.4. CUT, REMOVE AC. 2' WIDE BY 3" DEEP. PLACE 3" DEEP LIFT AC SECTION. |
| N-3 | CONSTRUCT EXTRUDED CURB PER DETAIL A ON THIS SHEET.   |
| N-4 | CONSTRUCT CURB AND SIDEWALK PER DETAIL B ON THIS SHEET.   |
| N-5 | CONSTRUCT TYPE 3 CURB PER COUNTY OF SAC DETAIL 4-2.5.   |

NOTE:  
AREA OF DISTURBED LAND IS 1.20 A.C. (ENTIRE SITE- P/L TO P/L). QUANTITIES OF MATERIAL EXCAVATION AND/OR FILL IS TEMPORARY, AND THE AMOUNT OF EARTH TO BE CUT IS \_\_\_\_ CU. YRD. TO BE FILL IS \_\_\_\_ CU. YRD.  
EX = EXISTING GRADE, ALL OTHER ELEVATIONS ARE PROPOSED.

FIELD VERIFICATION:  
THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES AND SERVICE STUDS ARE DELINEATED HEREON FROM RECORD DATA. THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE LOCATIONS PRIOR TO EXTENDING SERVICES ON SITE. IF DISCREPANCIES EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THAT ADJUSTMENTS MAY BE MADE.



**BUILDING PAD CERTIFICATION**

I HEREBY CERTIFY THAT THE GRADES SHOWN ON THESE PLANS AND APPROVED BY THE PUBLIC WORKS AGENCY, HAVE BEEN CONSTRUCTED TO WITHIN 1/10TH OF ONE FOOT OF THEIR INDICATED ELEVATION FOR ALL LOT PADS AND IMPROVEMENTS SHOWN.

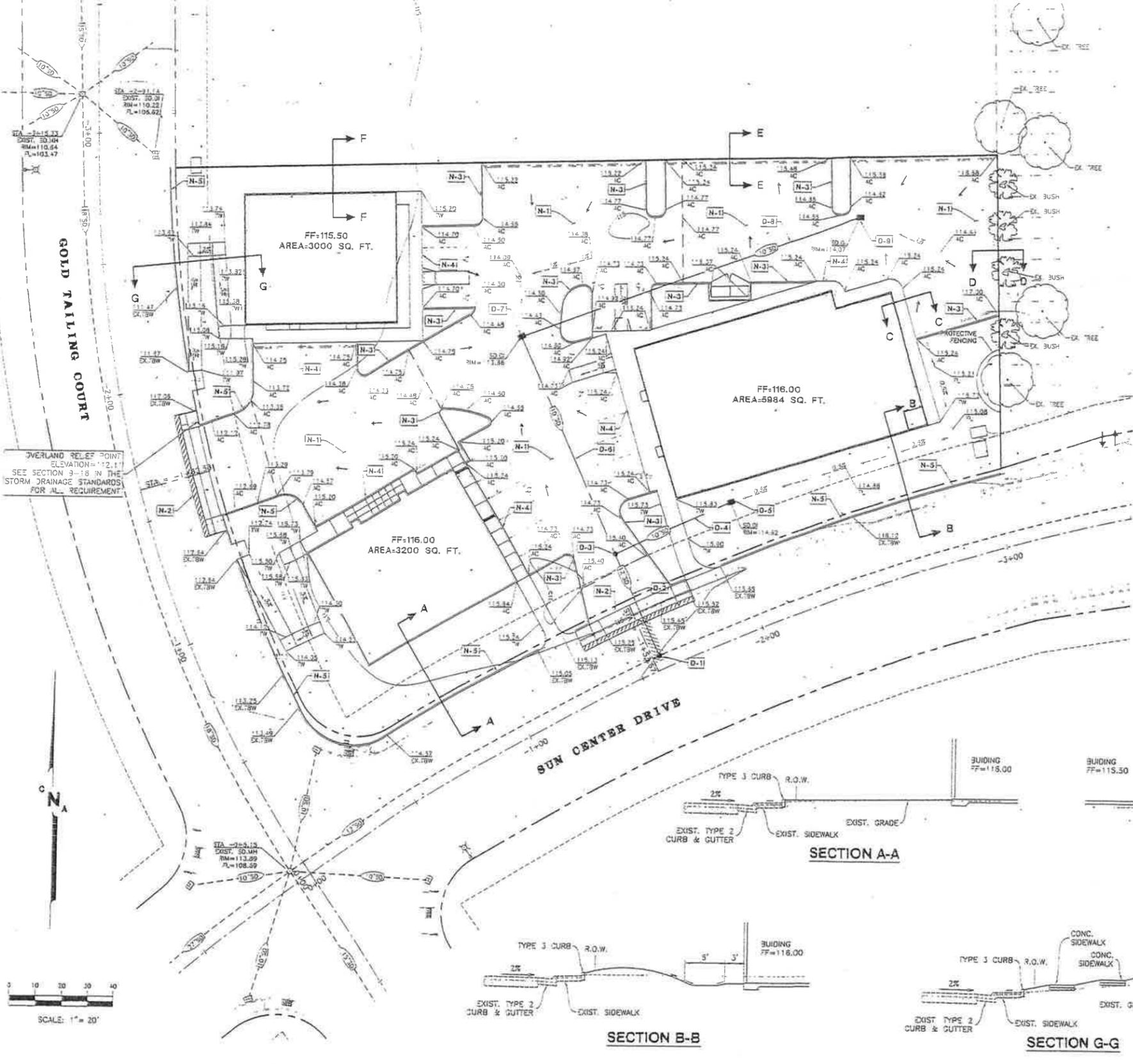
PROJECT ENGINEER: \_\_\_\_\_ PE NUMBER: C 33407 DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT THE PADS FOR THE FOLLOWING LOTS FOR THIS PROJECT HAVE BEEN TESTED FOR COMPACTION IN ACCORDANCE WITH GENERALLY ACCEPTED TEST METHODS AND BASED UPON THE RESULTS OF THESE TESTS THE COMPACTION OF SAID PADS CONFORMS TO THE RECOMMENDATIONS OF THIS PROJECT'S GEOTECHNICAL REPORT.

LOTS: \_\_\_\_\_

ALSO STATE THAT OUR FIRM OBSERVED THE GRADING OPERATION TO A SUFFICIENT EXTENT TO EVALUATE CONFORMANCE WITH THE PROJECT'S GEOTECHNICAL REPORT AS APPROVED BY THE COUNTY, AND FURTHER STATE THAT BASED UPON OUR OBSERVATIONS, THE GRADING FOR THIS COMMERCIAL PROJECT CONFORMS WITH THE RECOMMENDATIONS OF SAID SOIL REPORT.

GEOTECHNICAL ENGINEER: \_\_\_\_\_ PE NUMBER: \_\_\_\_\_ DATE: \_\_\_\_\_



BENCHMARK ELEV.: 118.592  
SACTO CO. 3.M. NO. 3M 19-39  
RAMSET & "B" METAL DISK STAMPED '00,  
3/4" x 3/4" LOCATED IN TOP BACK  
VERTICAL CURB & GUTTER OVER 3/4" @  
EAST END OF CURB RETURN @  
NORTHEAST CORNER OF SUNRISE GOLD  
DR. (NORTH) & SUNRISE BLVD.

| NO. | DESCRIPTION | COUNTY APPROVAL<br>APPROVED BY/DATE | SCALE                               | DRAFTED BY: VLADIMIR |
|-----|-------------|-------------------------------------|-------------------------------------|----------------------|
| 1   |             |                                     | HORIZ. 1" = 20'                     | DESIGNED BY: SUN     |
| 2   |             |                                     | VERT. 1" = 1'/A                     | CHECKED BY: CO       |
| 3   |             |                                     | PLD BK.: N/A                        | DATE: 9/8/2008       |
| 4   |             |                                     | ASSESSOR'S PARCEL NO.: 072-0490-009 |                      |

**CNA ENGINEERING INC.**  
CIVIL ENGINEERING; LAND SURVEYING; PLANNING; STRUCTURAL DESIGN

PHONE: (916) 485-3746  
2575 VALLEY ROAD, SACRAMENTO, CA 95821

**GRADING AND DRAINAGE PLAN FOR:**  
**11201, 11205 & 11211 SUN CENTER DR.**

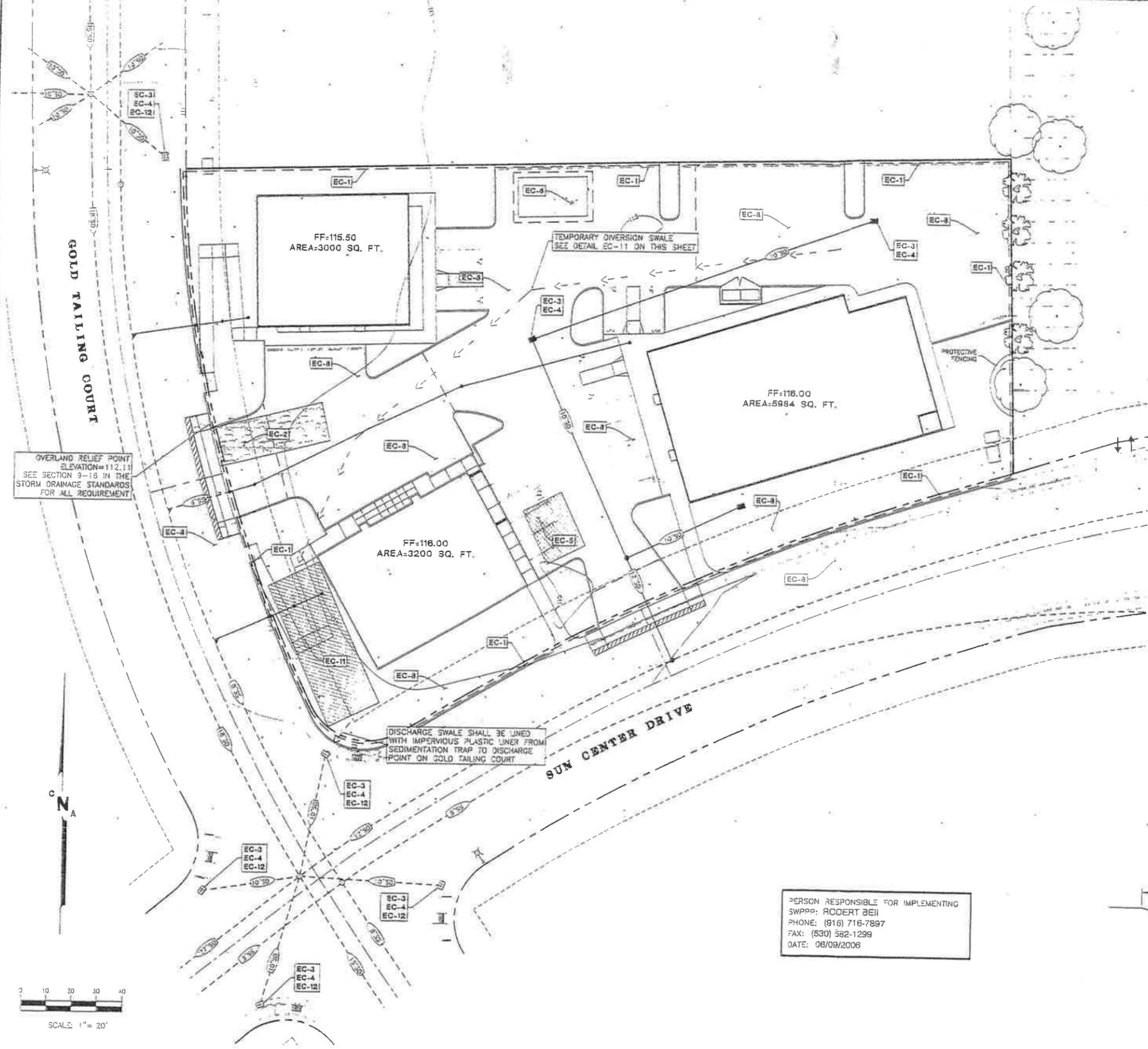
CITY OF RANCHO CORDOVA STATE OF CALIFORNIA

SHEET 3 OF 6 SHEETS  
FILE: 0562.DWG  
DATE: 9/13/08  
P.L. 0562.DWG

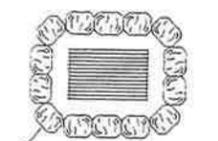
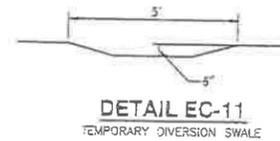
| EROSION CONTROL KEYNOTES: |  |
|---------------------------|--|
| EC-1                      | FIBER ROLLS<br>SEE SAC. CO. STD. DETAIL 11-4.  |
| EC-2                      | STABILIZED CONSTRUCTION ENTRANCE<br>SEE SAC. CO. STD. DETAIL 11-1.   |
| EC-3                      | INLET SEDIMENT BARRIER<br>SEE SAC. CO. STD. DETAIL 11-7. FOR DRAINAGE<br>INLETS W/O CURE & CUTTER SEE DETAIL EC-3 ON<br>THIS SHEET.  |
| EC-4                      | INLET FILTER BAG<br>SEE SAC. CO. STD. DETAIL 11-9.   |
| EC-5                      | CONCRETE WASHOUT<br>SEE SAC. CO. STD. DETAIL 11-6.   |
| EC-6                      | MATERIALS STORAGE AREA AND DEBRIS/SOLID WASTE<br>STOCKPILES<br>VEHICLE/EQUIPMENT MAINTENANCE, FUELING AND<br>WASHING AREAS. IF APPLICABLE TO BE VARIED BY<br>CONTRACTOR AND APPROVED BY COUNTY IF CHANGED.<br>ALL MATERIALS STORED ON SIDE SHALL HAVE PROPER<br>ENCLOSURES AND/OR COVERINGS. SEE REQUIRED BMPs<br>NOTE 'E' ON SHEET 5.   |
| EC-7                      | INLET SEDIMENT CONTROL - (40' O.C.)<br>SEE SAC. CO. STD. DETAIL 11-7.  |
| EC-8                      | DUST CONTROL (WATER TRUCKS, SWEEPERS)<br>SEE SAC. CO. STD. CONST. SPECIFICATIONS 17-1.   |
| EC-9                      | EROSION CONTROL BUFFER<br>SEE EROSION & SEDIMENT CONTROL, NOTE 11 & 12<br>ON SHEET 5.  |
| EC-10                     | DEWATERING<br>SEE EROSION & SEDIMENT CONTROL NOTE 12 ON<br>SHEET 5.  |
| EC-11                     | SEDIMENT TRAP<br>SEE SAC. CO. STD. DETAIL 11-3; SECTION 11-9. SEE<br>EROSION & SEDIMENT CONTROL NOTE 10 ON SHEET 5.<br>SEDIMENT TRAP NOTE:<br>SEDIMENT TRAP FOR THIS SITE PROVIDE 1672.86 CUBIC<br>FEET (945 CUBIC FEET PER 1 ACRE) TRAP STORAGE<br>VOLUME FOR 1.77 ACRES OF DRAINAGE (1.20 ACRES<br>ON-SIDE AND 0.57 ACRES OFF-SIDE)<br>SEDIMENT TRAP OUT-SIDE DIMENSIONS:<br>59' X 22' AND 2' DEPTH. |
| EC-12                     | DRAINAGE INLET MESSAGE<br>ALL DRAINAGE INLETS SHALL HAVE A PERMANENT<br>STORM DRAIN MESSAGE "NO DUMPING - FLOWS TO<br>CREEK" PER DETAILS 9-35A AND 9-35B OF THE<br>SACRAMENTO COUNTY STANDARDS OR OTHER APPROVED<br>MESSAGE CONSISTENT WITH SECTION 11-17 OF THE<br>SAC. CO. IMPROVEMENT STANDARDS. EFFECTIVE<br>EROSION CONTROL BMPs SHALL BE PLACE PRIOR TO<br>ANY STORM EVENTS.                     |

NOTE:  
AREA OF DISTURBED LAND IS 1.20 A.C. (ENTIRE SITE - P/L TO  
P/L). QUANTITIES OF MATERIAL EXCAVATION AND/OR FILL IS  
TEMPORARY, AND THE AMOUNT OF EARTH TO BE CUT IS \_\_\_\_ CU.  
YRD., TO BE FILL IS \_\_\_\_ CU. YRD.

FOR BMP INSTALLATION SCHEDULE,  
REQUIRED BMPs & SACRAMENTO  
COUNTY EROSION CONTROL NOTES  
SEE SHEET 5.



PERSON RESPONSIBLE FOR IMPLEMENTING  
SWPPP: ROBERT BEII  
PHONE: (916) 716-7897  
FAX: (530) 562-1299  
DATE: 06/09/2006



GRAVEL BAGS 3' HIGH OR OTHER  
ACCEPTED SEDIMENT CONTROL BMP.  
PLACE BAGS TIGHT AGAINST EACH  
OTHER.

DETAIL EC-3  
GRAVEL BAG DRAIN BARRIER

BENCHMARK ELEV.: 118.592  
SACTO CO. B.M. NO.: 3M 19-39  
RAMSET & "B" METAL DISK STAMPED "CO.  
B.M. 19-39" LOCATED IN TOP BACK  
VERTICAL CURB & CUTTER OVER D.D. @  
EAST END OF CURB RETURN @  
NORTHEAST CORNER OF SUNRISE GOLD  
DR. (NORTH) & SUNRISE BLVD.

| NO. | DESCRIPTION | COUNTY APPROVAL<br>APPROVED BY DATE | SCALE                               | DRAFTED BY: VLADIMIR |
|-----|-------------|-------------------------------------|-------------------------------------|----------------------|
|     |             |                                     | HORIZ. 1" = 20'                     | DESIGNED BY: S.J.N.  |
|     |             |                                     | VERT. 1" = N/A                      | CHECKED BY: CO       |
|     |             |                                     | FLD BK.: N/A                        | DATE: 3/5/2006       |
|     |             |                                     | ASSESSOR'S PARCEL NO.: 372-0490-009 |                      |



**CNA ENGINEERING INC.**  
CIVIL ENGINEERING, LAND SURVEYING, PLANNING, STRUCTURAL DESIGN  
PHONE: (916) 485-3746  
2575 VALLEY ROAD, SACRAMENTO, CA 95821

EROSION CONTROL PLAN FOR:  
11201, 11205 & 11211 SUN CENTER DR.

CITY OF RANCHO CORDOVA

STATE OF CALIFORNIA

PROJ. DATE: 9/13/06  
FN: 0562.DWG  
SHEET  
**4** OF **6**  
SHEETS  
FN: 3562.DWG

**BMP INSTALLATION SCHEDULE**

| BEST MANAGEMENT PRACTICE  | LOCATION  | IMPLEMENTATION SCHEDULE   | MAINTENANCE SCHEDULE  |
|---|---|---|---|
| A. PRESERVING EXISTING VEGETATION   | AROUND PERIMETER OF PROJECT SITE                  | CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED                      | EDUCATE EMPLOYEES AND SUBCONTRACTORS REGARDING IMPORTANCE OF MAINTAINING EXISTING VEGETATION TO PREVENT EROSION AND FILTER AND SEDIMENT RUNOFF FROM DISTURBED AREAS ON THE CONSTRUCTION SITE. INSPECT SITE PERIMETER MONTHLY TO VERIFY THE OUTSIDE VEGETATION IS NOT DISTURBED. |
| B. PROTECT GRADED AREAS AND SLOPES FROM WASHOUT & EROSION   | THROUGHOUT PROJECT SITE                           | DURING WET SEASON   | INSPECT GRADED AREAS AND SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. REGRADE TRIBUTARY AREAS OR INSTALL FILTER BARRIER OR SAND BAG DICES AS NECESSARY TO PREVENT EROSION.  |
| C. GRAVEL FILTER  | ALONG FLOW LINES OF UNPAVED ROADWAYS WITHIN SITE  | IN PLACE DURING WET SEASON UNTIL ROADWAYS ARE PAVED             | INSPECT DAILY AND AFTER EACH STORM. REMOVE ON-SITE SEDIMENT DEPOSITED BEHIND BERM OR BARRIER TO MAINTAIN EFFECTIVENESS.   |
| D. INLET FILTER BAG   | INLETS TO THE STORM DRAINAGE SYSTEM               | CONTINUOUS UNTIL LANDSCAPING IS IN PLACE                        | INSPECT WEEKLY AND AFTER EACH STORM. REMOVE SEDIMENT AND DEBRIS BEFORE ACCUMULATIONS HAVE REACHED ONE THIRD THE DEPTH OF THE BAG. REPAIR OR REPLACE INLET FILTER BAG AS SOON AS DAMAGE OCCURS.  |
| E. FIBER ROLL   | SEE NOTE 12 OF EROSION & SEDIMENT CONTROL NOTES   | CONTINUOUS  | INSPECT WEEKLY AND AFTER EACH STORM. REMOVE SEDIMENT DEPOSITED BEHIND FIBER ROLL WHENEVER NECESSARY TO MAINTAIN EFFECTIVENESS.  |
| F. HYDROSEEDING   | 3:1 SLOPES  | IN PLACE DURING BY SEPT. 15                                     | INSPECT SLOPES ON AT LEAST A MONTHLY BASIS TO CHECK FOR EROSION. IF EROSION IS NOTED, SPREAD STRAW MULCH OVER AFFECTED AREAS.   |
| G. STABILIZED CONSTRUCTION ENTRANCE   | ENTRANCES TO SITE FROM PUBLIC ROADWAYS            | CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED                      | INSPECT ON A MONTHLY BASIS AND AFTER EACH RAINFALL. ADD AGGREGATE BASE MATERIAL WHENEVER NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED INTO PUBLIC STREET.   |
| H. WIND EROSION CONTROL PRACTICES   | WHEREVER NECESSARY THROUGHOUT PROJECT SITE        | CONTINUOUS UNTIL GRADING IS COMPLETED AND SOILS HAVE STABILIZED | INSPECT SITE DURING WINDY CONDITIONS TO IDENTIFY AREAS WHERE WIND EROSION IS OCCURRING AND ABATE EROSION AS NECESSARY.  |
| I. GOOD HOUSEKEEPING MEASURES   | THROUGHOUT PROJECT SITE                           | CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED                      | INSPECT SITE ON AT LEAST A MONTHLY BASIS TO VERIFY THAT GOOD HOUSEKEEPING PRACTICES ARE BEING IMPLEMENTED.  |
| J. PROPER CONSTRUCTION MATERIAL STORAGE   | DESIGNATED AREA                                   | CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED                      | INSPECT SITE ON AT LEAST A WEEKLY BASIS TO VERIFY THAT CONSTRUCTION MATERIALS ARE STORED IN A MANNER WHICH COULD NOT CAUSE STORM WATER POLLUTION.   |
| K. PROPER CONSTRUCTION WASTE STORAGE AND DISPOSAL INCLUDING:<br>1) CONCRETE SPILL CLEANUP INCLUDING 1) PAINT & PAINTING SUPPLIES<br>2) VEHICLE FUELING MAINTENANCE & CLEANING   | DESIGNATED WASTE COLLECTION AREA AND CONTAINERS   | CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED                      | INSPECT SITE ON AT LEAST A WEEKLY BASIS TO ASSURE WASTE IS STORED PROPERLY AND DISPOSED OF AT LEGAL DISPOSAL SITE, DAILY.   |
|   | MATERIAL HANDLING AREA WITH SECONDARY CONTAINMENT | IMMEDIATELY AT TIME OF SPILL                                    | INSPECT MATERIAL HANDLING AREAS ON AT LEAST A MONTHLY BASIS TO VERIFY PROPER SPILL CLEANUP.   |
| L. STREET AND STORM DRAINAGE FACILITY MAINTENANCE DEFINITIONS   | STREETS AND STORM DRAINAGE FACILITIES             | CONTINUOUS UNTIL CONSTRUCTION IS COMPLETED                      | MAINTAIN STORM DRAINAGE FACILITIES AND PAVED STREETS CLEAR OF SEDIMENT AND DEBRIS.  |
| 1. WET SEASON: ENTIRE PERIOD BETWEEN OCTOBER 1 THROUGH APRIL 30. CONTRACTOR SHALL ALSO IMPLEMENT WET SEASON MEASURES IF WET WEATHER IS EXPECTED DURING THE DRY SEASON.<br>2. PHASES OF DRIVING:<br>INITIAL: WHEN CLEARING AND GRUBBING ACTIVITIES OCCUR.<br>ROUGH: WHEN CUT AND FILL ACTIVITIES OCCUR AND THE SITE IMPROVEMENTS ARE CONSTRUCTED, INCLUDING UNDERGROUND PIPING, STREETS, SIDEWALKS, AND OTHER IMPROVEMENTS.<br>FINAL: WHEN FINAL ELEVATIONS ARE SET, AND SITE IMPROVEMENTS ARE COMPLETED AND READY FOR COUNTY OF SAC ACCEPTANCE. |   |   |   |

**SACRAMENTO COUNTY EROSION CONTROL NOTES:**

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE COUNTY OF SACRAMENTO IMPROVEMENT STANDARDS, CURRENT EDITION, AND THE COUNTY OF SACRAMENTO EROSION AND SEDIMENT CONTROL GUIDELINES, DATED NOVEMBER 2000.
- EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND MAINTAINED DURING THE WET SEASON (OCTOBER THROUGH APRIL 30). SEDIMENT CONTROL BMPs SHALL BE INSTALLED AND MAINTAINED ALL YEAR. 1. ALL DRAINAGE INLETS IMMEDIATELY DOWNSTREAM OF THE WORK AREAS AND WITHIN THE WORK AREAS SHALL BE PROTECTED WITH SEDIMENT CONTROL AND INLET FILTER BAGS. YEAR ROUND, INLET FILTER BAGS SHALL BE REMOVED FROM THE DRAINAGE INLETS UPON ACCEPTANCE OF THE PUBLIC IMPROVEMENTS BY THE COUNTY.
- ALL STABILIZED CONSTRUCTION ACCESS LOCATIONS SHALL BE CONSTRUCTED PER STANDARD DRAWING 11-1 WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES PAVED AREAS. THE STABILIZED ACCESS SHALL BE MAINTAINED ON A YEAR ROUND BASIS UNTIL THE COMPLETION OF CONSTRUCTION.
- ALL AREAS DISTURBED DURING CONSTRUCTION, BY GRADING, TRENCHING, OR OTHER ACTIVITIES, SHALL BE PROTECTED FROM EROSION DURING THE WET SEASON (OCTOBER 1 THROUGH APRIL 30). HYDROSEED, IF UTILIZED, MUST BE PLACED BY SEPTEMBER 15. HYDROSEED PLACED DURING THE WET SEASON SHALL USE A SECONDARY EROSION PROTECTION METHOD.
- SENSITIVE AREAS AND AREAS WHERE EXISTING VEGETATION IS BEING PRESERVED SHALL BE PROTECTED WITH CONSTRUCTION FENCING. SEDIMENT CONTROL BMPs SHALL BE INSTALLED WHERE ACTIVE CONSTRUCTION AREAS DRAIN INTO SENSITIVE OR PRESERVED VEGETATION AREAS.
- SEDIMENT CONTROL BMPs SHALL BE PLACED ALONG THE PROJECT PERIMETER WHERE DRAINAGE LEAVES THE PROJECT. SEDIMENT CONTROL BMPs SHALL BE MAINTAINED YEAR ROUND UNTIL THE CONSTRUCTION IS COMPLETE OR THE DRAINAGE PATTERN HAS BEEN CHANGED AND NO LONGER LEAVES THE SITE.
- THE FOLLOWING AREAS ARE TO RECEIVE HYDROSEEDING OR OTHER EROSION CONTROL: LOT FRONT YARDS BEHIND THE SIDEWALK-THE FIRST 18 FEET OR TOP OF SLOPE (WHICHEVER IS GREATER), SLOPES-ALL SLOPES GREATER THAN 10:1
- EROSION AND SEDIMENT CONTROL MEASURES FOR THIS PROJECT SHALL BE IN SUBSTANTIAL COMPLIANCE AT ALL TIMES WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED FOR THE PROJECT IN ACCORDANCE WITH THE STATE OF CALIFORNIA GENERAL CONSTRUCTION PERMIT. THIS PERMIT REQUIRES THAT THE SWPPP BE KEPT UP TO DATE TO REFLECT THE CHANGING SITE CONDITIONS AND THE SWPPP IS TO BE AVAILABLE ON SITE AT ALL TIMES FOR REVIEW BY STATE AND LOCAL INSPECTORS.
- FOR DEWATERING OPERATIONS, SEDIMENT-LADEN STORM WATER SHALL BE EITHER PUMPED (NOTE 12) OR ROUTED (TEMPORARY DIVERSION SWALE) TO SEDIMENT TRAP(S) TO ALLOW SEDIMENT TO SETTLE OUT BEFORE DISCHARGE OFF-SITE. ONCE SEDIMENT HAS SETTLED OUT, WATER WILL BE DISCHARGED THROUGH SWALE LINED WITH IMPERVIOUS PLASTIC LINER (SEE SAC CO. DETAIL 11-5), THEN TO GOLD TAILING COURT, TO FLOW TO OFF-SITE D.I. IN THE EVENT THAT COLLOIDAL SOIL MATERIAL IS OBSERVED IN STORM WATER DISCHARGE, THEN ADDITIONAL TREATMENT MAY BE REQUIRED, INCLUDING FLOCCULATION AND FILTRATION.
- EROSION CONTROL BUFFER SHALL BE INSTALLED AS 20- FOOT WIDE ZONE OF STRAW MULCH AND TACIFIER ALONG ENTIRE INSIDE PERIMETER OF FIBER ROLLS.
- USE OF FIBER ROLLS AND 20-FOOT BUFFER SHALL BE AUGMENTED DURING WET SEASON WITH DEWATERING BMPs IN THE EVENT THAT FIBER ROLLS DO NOT EFFECTIVELY RETAIN STORM WATER ON SITE. DEWATERING MAY INCLUDE PUMPS OR BERMS TO ROUTE WATER TO THE SEDIMENT TRAP. IF PUMPS ARE USED, THEN FILTER BAGS SHALL BE USED AT DISCHARGE HOSE ENDS. DEWATERING MATERIAL SHALL NOT BE DISCHARGED DIRECTLY TO THE STORM DRAIN SYSTEM.

**REQUIRED BMPs:**

- THE FOLLOWING BMPs SHALL BE REQUIRED ON ALL PROJECTS:
- ACCESS POINTS TO THE CONSTRUCTION SITE SHALL HAVE A STABILIZED CONSTRUCTION ACCESS (SECTION 11-8).
  - THE PRESERVATION OF EXISTING VEGETATION SHALL BE DONE IN ACCORDANCE WITH PRESERVATION OF EXISTING VEGETATION (SECTION 11-9), AND SILT FENCE (SECTION 1112).
  - PERIMETER PROTECTION ALONG PROPERTY LINES SHALL HAVE PRESERVATION OF EXISTING VEGETATION (SECTION 11-8), OR SILT FENCE (SECTION 11-12).
  - SLOPES GREATER THAN 3 PERCENT SHALL BE TEMPORARILY SEEDED AND SLOPES GREATER 3:1 (H:V) SHALL HAVE HYDROSEEDING (SECTION 11-5) AND GEOTEXTILES, PLASTIC COVERS, AND EROSION CONTROL BLANKETS (SECTION 11-11) INSTALLED.
  - THE TOE OF ALL SLOPES SHALL HAVE SILT FENCE (SECTION 11-12) AND/OR FIBER ROLL (SECTION 11-17).
  - DISTURBED SOIL AREAS BEHIND THE CURB OR BACK OF WALK (OR CURB) SHALL HAVE STRAW MULCH (SECTION 11-16), SOIL BINDERS (SECTION 11-7) OR GEOTEXTILES, PLASTIC COVERS, AND EROSION CONTROL BLANKETS/MATS (SECTION 11-11) IN CONJUNCTION WITH HYDROSEEDING (SECTION 11-5). SURFACE TREATMENTS SHALL EXTEND TO THE GREATER OF 6 METERS (20 FEET) OR TO THE TOP OF SLOPE.
  - ROADWAY SUBGRADES SHALL HAVE FIBER ROLL (SECTION 11-17), SILT FENCE (SECTION 1112), OR SEDIMENT TRAP (SECTION 11-9).
  - DEAD END STREETS, TO BE EXTENDED IN THE FUTURE, SHALL HAVE PRESERVATION OF EXISTING VEGETATION (SECTION 11-8), HYDROSEEDING (SECTION 11-5), SEDIMENT TRAP (SECTION 11-9) OR OTHER APPLICABLE BMP TO MINIMIZE THE TRANSPORT OF SEDIMENT ONTO OR FROM THE IMPROVED SURFACE.
  - PROJECTS THAT INCLUDE DETENTION BASINS SHALL HAVE A SEDIMENT BASIN (SECTION 1110).
  - PLACE DRAINAGE INLET SEDIMENT BMPs AT ALL STORM DRAIN INLETS. BMPs SHALL INCLUDE INLET SEDIMENT CONTROL BARRIER (SECTIONS 11-14, INLET FILTER BAG (SECTION 11-13) AND CONCRETE STAMPS OR EXPOSED PLAQUARDS (DETAIL 3-35A).
  - EACH CONSTRUCTION SITE SHALL PROVIDE DESIGNATED, PAINT AND WASTE DISPOSAL LOCATIONS AS NECESSARY.
  - A BMP INSTALLATION SCHEDULE SHALL BE INCLUDED ON THE IMPROVEMENT PLANS. THE SCHEDULE SHALL INCLUDE THE BMPs FOR BOTH THE WET SEASON AND THE DRY SEASON. DESIGN INFORMATION IS AVAILABLE IN SECTION 5 OF THE EROSION AND SEDIMENT CONTROL GUIDELINES.

**ATTACHMENT 2**

BENCHMARK ELEV.: 118.692  
 SACTO CO. B.M. NO.: 3M 19-39  
 3/4" SET & 3" METAL DISK STAMPED "CO."  
 B.M. 3-39 LOCATED IN TOP BACK  
 VERTICAL CURB & BUTTER OVER D.I. @  
 EAST END OF CURB RETURN @  
 NORTHEAST CORNER OF SUNRISE GOLD  
 DR. (NORTH) & SUNRISE BLVD.

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |

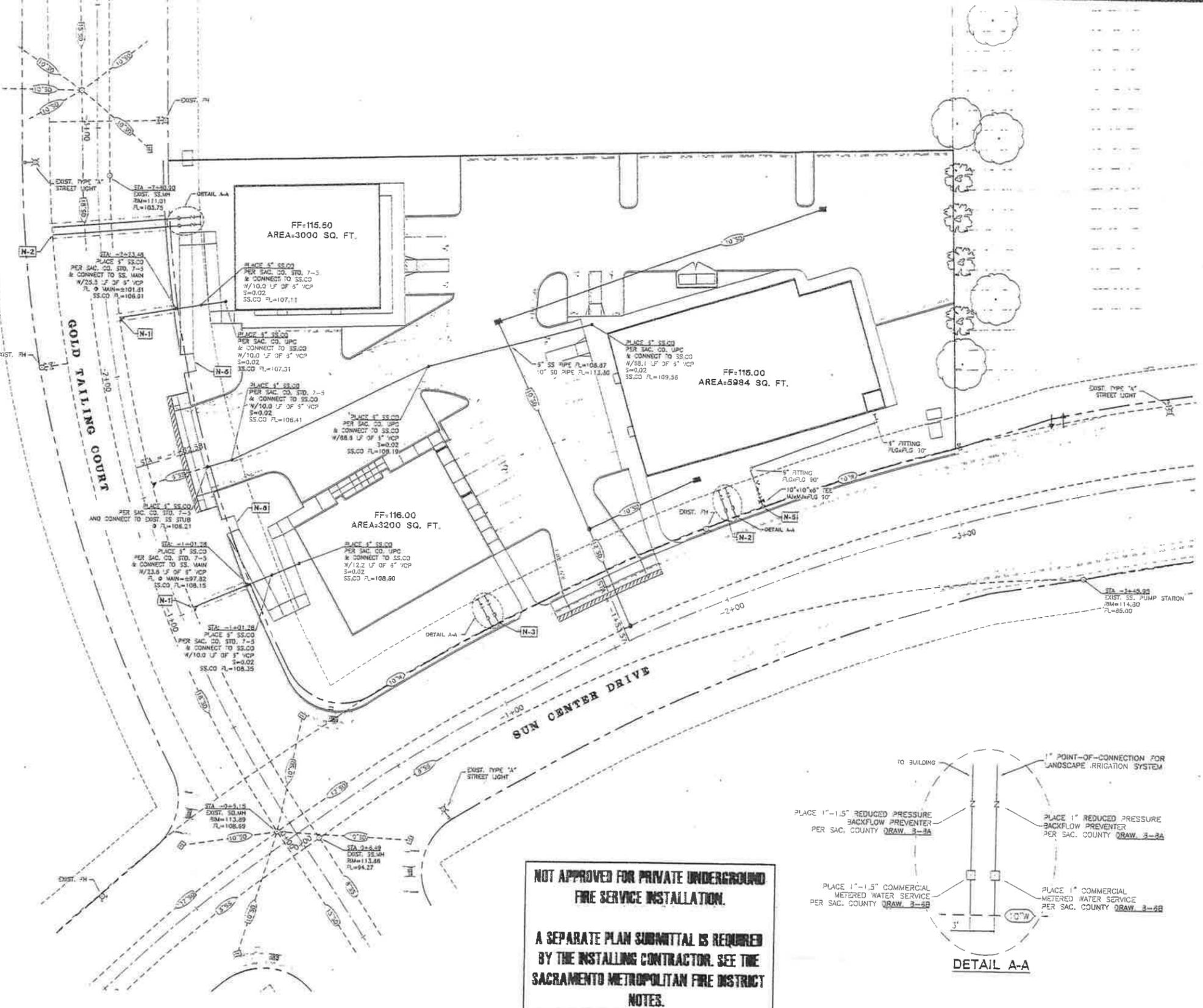
|                     |                 |                                     |
|---------------------|-----------------|-------------------------------------|
| COUNTY APPROVAL     | SCALE           | DRAFTED BY: VLADIMIR                |
| APPROVED BY: [DATE] | HORIZ. 1" = 20' | DESIGNED BY: S.J.N.                 |
|                     | VERT. 1" = N/A  | CHECKED BY: CO                      |
|                     |                 | DATE: 3/5/2006                      |
|                     |                 | ASSESSOR'S PARCEL NO.: 072-0490-009 |



**CNA ENGINEERING INC.**  
 CIVIL ENGINEERING; LAND SURVEYING; PLANNING; STRUCTURAL DESIGN  
 PHONE: (916) 485-3746  
 2575 VALLEY ROAD, SACRAMENTO, CA 95821

**EROSION CONTROL PLAN FOR:**  
**11201, 11205 & 11211 SUN CENTER DR.**  
 CITY OF RANCHO CORDOVA STATE OF CALIFORNIA

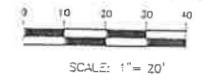
PLAT DATE: 5/13/06  
 FILE: 0582.DWG  
 SHEET 5 OF 6  
 SHEETS  
 FILE: 3562.DWG



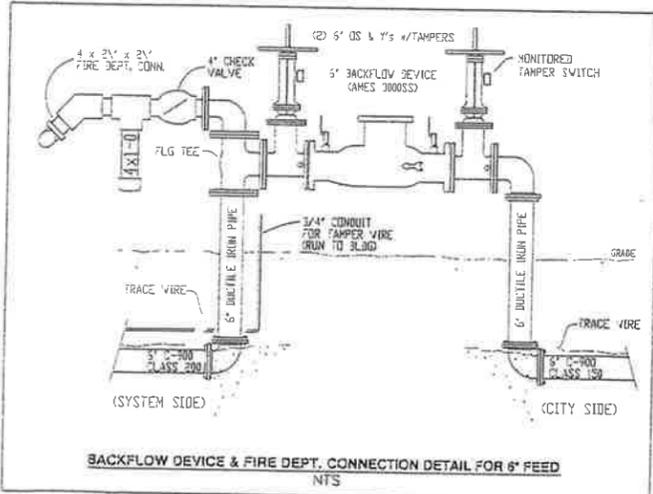
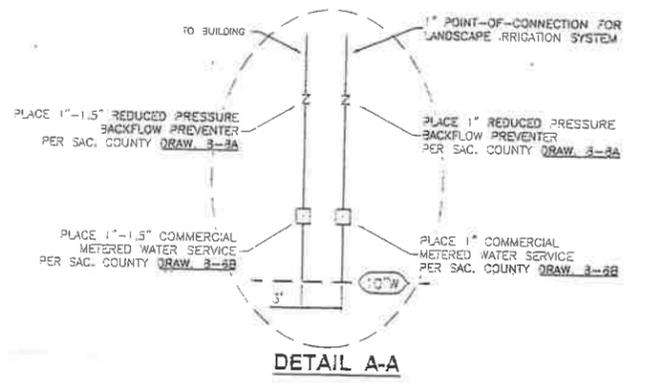
- CONSTRUCTION NOTES:**
- N-1 STA: -2+23.48 ON GOLD TAILING COURT  
STA: -1+01.28 ON GOLD TAILING COURT  
SEWER TAP TO BE PERFORMED BY SACRAMENTO COUNTY AFTER PAYMENT OF FEES. ALL TRAFFIC CONTROL, PAVEMENT CUTTING, TRENCHING, SHORING, PIPE, BACK FILLING AND PAVEMENT REPLACEMENT TO BE PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THESE PLANS AND THE SACRAMENTO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS.
  - N-2 STA: -2+59.51 ON GOLD TAILING COURT  
ARDEN CORDOVA WATER SERVICE CREWS RESPONSIBILITY TO TAP EXISTING WATER MAIN AND INSTALL 1" DOMESTIC WATER SERVICE AND 1" LANDSCAPE IRRIGATION SERVICE AFTER PAYMENT OF FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION, BACK FILL, AND PAVEMENT RESTORATION.
  - N-3 STA: -1+12.20 ON SUN CENTER DRIVE  
ARDEN CORDOVA WATER SERVICE CREWS RESPONSIBILITY TO TAP EXISTING WATER MAIN AND INSTALL 1" DOMESTIC WATER SERVICE AND 1" LANDSCAPE IRRIGATION SERVICE AFTER PAYMENT OF FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION, BACK FILL, AND PAVEMENT RESTORATION.
  - N-4 STA: -2+11.38 ON SUN CENTER DRIVE  
ARDEN CORDOVA WATER SERVICE CREWS RESPONSIBILITY TO TAP EXISTING WATER MAIN AND INSTALL 1.5" DOMESTIC WATER SERVICE AND 1" LANDSCAPE IRRIGATION SERVICE AFTER PAYMENT OF FEES. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATION, BACK FILL, AND PAVEMENT RESTORATION.
  - N-5 STA: -2+25.52 ON SUN CENTER DRIVE  
CUT IN TEE, PLACED 8" VALVE, CONST. BACKFLOW DEVICE & FIRE DEPT. CONNECTION PER DETAIL ON THIS SHEET.
  - N-6 CONST. SIDEWALK RAMP

**FIELD VERIFICATION:**  
THE VERTICAL AND HORIZONTAL LOCATION OF EXISTING UTILITIES AND SERVICE STUBS ARE DELINEATED HEREON FROM RECORD DATA. THE CONTRACTOR SHALL FIELD EXCAVATE AND VERIFY THE LOCATIONS PRIOR TO EXTENDING SERVICES ON SITE. IF DISCREPANCIES EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THAT ADJUSTMENTS MAY BE MADE.

**NOTE:** — FIRE LANE — FIRE LANE —  
FIRE LANE MARKINGS FOR PAINTED RED CURB AS REQUIRED BY SACRAMENTO METRO FIRE DEPARTMENT POST SIGNS "NO PARKING FIRE LANE" EVERY 50'



**NOT APPROVED FOR PRIVATE UNDERGROUND FIRE SERVICE INSTALLATION.**  
**A SEPARATE PLAN SUBMITTAL IS REQUIRED BY THE INSTALLING CONTRACTOR. SEE THE SACRAMENTO METROPOLITAN FIRE DISTRICT NOTES.**



APPROVED: \_\_\_\_\_ EXPIRES ONE (1) YEAR FROM DATE OF APPROVAL  
SAC. METRO FIRE DEPT. 2631 DATE 15 Sept 06  
APPROVED: \_\_\_\_\_ EXPIRES ONE (1) YEAR FROM DATE OF APPROVAL  
SOUTHERN CALIFORNIA WATER COMPANY. Note: Work not for construction. DATE 9-15-06

|   |       |             |                                  |                                     |                      |
|---|-------|-------------|----------------------------------|-------------------------------------|----------------------|
| BENCHMARK ELEV.: 118.892<br>SACTO CO. B.M. NO. 3M 19-39<br>RAMSET & 78" METAL DISK STAMPED "CO. 3.M. 5-39" LOCATED N TOP BACK VERTICAL CURB & CUTTER OVER 71' EAST END OF CURB RETURN 3' NORTHEAST CORNER OF SUNRISE GOLD DR. (NORTH) & SUNRISE BLVD. | NO. 1 | DESCRIPTION | COUNTY APPROVAL APPROVED BY DATE | SCALE                               | DRAFTED BY: YLAQIMIR |
| REVISIONS   | 1     |             |                                  | HORIZ. 1" = 20'                     | DESIGNED BY: SJN     |
|   | 2     |             |                                  | VERT. 1" = N/A                      | CHECKED BY: CO       |
|   | 3     |             |                                  | FLD BK. N/A                         | DATE: 9/5/2006       |
|   | 4     |             |                                  | ASSESSOR'S PARCEL NO.: 072-0490-009 |                      |

**CNA ENGINEERING INC.**  
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**UTILITY PLAN FOR:**  
**11201, 11205 & 11211 SUN CENTER DR.**  
CITY OF RANCHO CORDOVA  
STATE OF CALIFORNIA

PLOT DATE: 9/13/06  
ENC: 0562.DWG  
SHEET 6 OF 6 SHEETS  
FN: 0562.DWG